

**MOTION BY SUPERVISOR MARK RIDLEY-THOMAS**

**June 18, 2013**

**Consent Agreement for the Kenneth Hahn Eastern Ridgeline Project**

The Kenneth Hahn State Recreation Area encompasses approximately 387 acres of public parkland and includes large areas of native coastal sage scrub habitat, lawns and landscaped areas, picnic sites, tot lots, a fishing lake, community center and over five miles of trails. On July 31, 2012, the Board of Supervisors adopted plans and specifications for the construction of the Kenneth Hahn Eastern Ridgeline Project (Project), copies of which are hereby incorporated by reference, and instructed the Chief Executive Officer to advertise for bids.

The Project requires a trail extension to be constructed, in part, over easements previously reserved by, and currently owned by, Chevron U.S.A., Inc. ("Chevron") and Baldwin Stocker, LLC ("Baldwin Stocker"). The Consent Agreement ("Agreement") between the County of Los Angeles ("County"), Baldwin Stocker, and Plains Exploration and Production Company ("PXP"), as the agent and operator for Chevron, which details how the trail extension will be constructed and maintained over those easements, was not yet finalized at the time of the adoption of the Project. That Agreement is now in final form,

- MORE -

**MOTION**

MOLINA \_\_\_\_\_

YAROSLAVSKY \_\_\_\_\_

KNABE \_\_\_\_\_

ANTONOVICH \_\_\_\_\_

RIDLEY-THOMAS \_\_\_\_\_



**MOTION BY SUPERVISOR MARK RIDLEY-THOMAS**

**June 18, 2013**

**PAGE 2**

and is attached hereto (including all exhibits). Once executed by the parties, that Agreement will allow for the construction of the trail extension over the easements. In consideration of the right to construct the trail extension over the easements, the County shall agree, as provided in the Agreement, to indemnify PXP and Baldwin Stocker for any issues arising from or connection to the trail extension and to otherwise comply with all of the other provisions of the Agreement.

**I THEREFORE MOVE THAT THE BOARD OF SUPERVISORS:**

Authorize the Chief Executive Officer, or his designee, as agent of the County of Los Angeles, to execute the attached Consent Agreement with Baldwin Stocker, LLC and Plains Exploration and Production Company to allow for the construction of the Kenneth Hahn Eastern Ridgeline Project trail extension over the aforementioned easements.

**###**



ADD WHEN RECORDED MAIL TO  
STATE OF CALIFORNIA  
REAL ESTATE SERVICES  
650 NOME AVE.  
SACRAMENTO, CALIF. 95825

84 879499

Agency: Parks and Recreation  
Project: Baldwin Hills  
Parcel: 5462

7897213 M.P.

PROPERTY ACQUISITION AGREEMENT

Deed Dated:

Title Company: Title Insurance and Trust Co.

County: Los Angeles

Address: 333 South Grand Avenue, Suite  
Los Angeles, CA 90071

Escrow No.: 7897213

FREE

The parties to this agreement are the undersigned Grantor(s), hereinafter referred to as Grantor, and the State of California, acting by and through the State Public Works Board, hereinafter referred to as State. The parties agree as follows:

1. Grantor agrees to grant to State certain property, located in the above County, and more particularly described in Exhibit "F" attached hereto and made a part hereof, subject to the terms and conditions hereof.

THE PROVISIONS AS TO PARAGRAPHS 2 - 17, INCLUSIVE, PAGES 2 - 7, ARE ATTACHED TO THIS AGREEMENT AND MADE A PART HEREOF.

Dated

3/27/84

Grantors

Baldwin Hills - M. Baldwin  
MARTIN H. BALDWIN

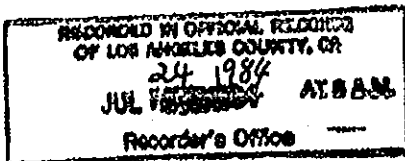
STATE OF CALIFORNIA  
State Public Works Board

By

John H. Brooks  
Assistant Administrative Secretary

DEPARTMENT OF GENERAL SERVICES

Edward R. Hill  
Director by Chief Land Agent



Approval Recommended:

William Caldwell  
Land Agent

RES 100 (Rev. 1/81)  
RE-3710J1

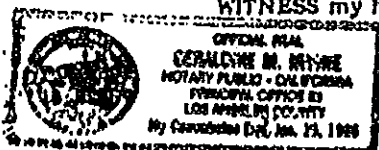


Subscribed and sworn to ) ss  
Notary Public )

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On this 2nd day of March, in the year 1984, before me, the undersigned, a Notary Public in and for said State, personally appeared Sam M. Wilson, personally known to me (or proved to me on the basis of satisfactory evidence) to be the person whose name is subscribed to the within instrument, and acknowledged to me that he executed it in the capacity therein stated.

WITNESS my hand and official seal.



Geraldine M. Myhre  
Notary Public in and for said County and State.



2. The State agrees to pay \$1,383,333.33 into said escrow at the above title company for the account of Grantor, conditioned on said property vesting in State, free and clear of all liens, encumbrances, assessments, easements, of record or otherwise, and of taxes, except:
  - (a) Easement or rights of way of record for public roads or public utilities, if any.
  - (b) Items 2 through 23 of Litigation Guarantee No. 7897213 prepared by Title Insurance and Trust Company dated June 27, 1980.
3. Said title company may expend any or all monies payable under this agreement to discharge any obligations which are liens upon the property, including but not limited to those arising from judgments, assessments, taxes, or debts secured by deeds of trust or mortgages, and/or to defray any other incidental costs other than those specified in Paragraph 4 hereof to be borne by the State. Property taxes for the fiscal year in which this escrow closes, if unpaid, shall be paid by Grantor in escrow to and including the date of close of escrow. The payment shall be based on the most recent information applicable to the fiscal year and obtainable through the taxing agencies. State shall not be responsible for any tax refund.
4. The State shall pay all escrow fees, recording fees, title insurance charges, prepayment penalties not to exceed 1% of the unpaid balance, reconveyance fees, trustees' or forwarding fees for any reconveyance of deed of trust or release of mortgage incurred in this transaction.
5. Rents, if any, shall be prorated as of the close of escrow and all subsequent rents shall be paid to the State. If any rentals have been or are collected by the Grantor for any period beyond said date, Grantor shall refund such rentals to the State. Grantor shall repay to the tenants any cleaning, key or other deposits, excluding rentals paid in advance, and save and hold the State harmless from any claim therefor.
6. Title to said property shall pass immediately upon close of escrow. Escrow instructions shall be approved by the State and Grantors or their authorized agents.
7. Grantor hereby agrees and consents to the dismissal as to Grantor of any eminent domain action by the State as to said property or any portion thereof.
8. This agreement is subject to the approval of the State Director of General Services.
9. State has investigated all physical conditions of said property, including, but not limited to, surface and subsurface soil conditions, and is acquiring said property "as is" and without warranty of any kind, express or implied, from Grantors as to any physical condition of said property. The foregoing includes reference to a soil problem covering an indeterminate area and volume of soil on a portion of said property caused by past deposition of materials thereon.



3-12-14

10. The acquisition pursuant to this agreement will be an acquisition for public use, to wit, for a public park. The acquisition of said property pursuant to this agreement will be an acquisition of an approximate 80-acre parcel, which said parcel is a part only of Grantors' entire property consisting of approximately 187 acres located at the northwest corner of La Brea Avenue and Stocker Street, County of Los Angeles, California. Thus, Grantors' remaining property will consist of approximately 107 acres of land. State does hereby affirm that it has no present intention to acquire any part of Grantors' remaining property. Grantor's execution of this agreement is in express reliance upon State's aforesaid affirmation. Because any such future acquisition for park purposes will prevent or substantially interfere with future development of said remaining property by Grantors or by their heirs, devisees, successors or assigns, Grantors would not execute this agreement if State had any present intention to condemn any part of said remaining property at any future time.
11. The amount of compensation set forth in Paragraph 2 above (total of all counterpart agreements) was established by an appraisal prepared by a real estate appraiser selected and hired jointly by State and Grantors. Said compensation is the exact amount of said appraisal for said 80-acre parcel. Said appraisal did not encompass the issue of severance damages to Grantors' remaining property. The amount of compensation set forth in Paragraph 2 above is for the property to be acquired pursuant to this agreement only. State and Grantors agree that as a proximate result of the acquisition pursuant to this agreement, incurable severance damages to Grantors' remaining property consisting of approximately 107 acres of land may exist. State further agrees that at the time of commencement of a proceeding in eminent domain by State or any other public entity for acquisition for public park purposes of said remaining property or any part thereof, during production of oil in paying quantities on said remaining property, the amount of severance damages, if any, caused by the acquisition pursuant to this agreement less future special benefits, if any, caused by the park construction, shall be paid by State to Grantors or to Grantors' heirs, devisees, successors or assigns subject to all applicable legal requirements. The determination of the amount of said severance damages, if any, shall be as of the date of this agreement. Such severance damages, if any, shall be computed as of the date of this agreement less special benefits, if any, existing on the date of filing of the aforesaid eminent domain action and as if such special benefits, if any, existed as of the date of this agreement. If no agreement as to the amount of said severance damages, if any, can be reached, the amount thereof shall be determined by an action to be filed in a court of competent jurisdiction. Said action may be filed by State or Grantors or by Grantors' heirs, devisees, successors or assigns. No claim need be filed with State as a condition precedent to the maintenance of said action. This paragraph is and shall be a covenant running with the land and shall be binding upon and inure to the benefit of the heirs, devisees, successors and assigns of the parties hereto.



## 12. Reservation of Easements

In order to insure Grantors the orderly and efficient development of said remaining property in the future and to enable future development of oil and gas from surface locations on adjoining lands by Grantors' lessee, the acquisition pursuant to this agreement shall be subject to, and there shall be reserved to Grantors and to Grantors' lessee, easements in, under, over or across the acquired land and appurtenant to Grantors' said remaining property as set forth hereinafter.

### A. Road Easement

Reserved to Grantors is a strip of land sixty (60) feet in width, legally described in Exhibit "A" and designated Part "A" attached hereto, for public or private street and road access. Grantors, successors and assigns also agree that they will not use the aforesaid road and street easements for vehicles in excess of two axles, except in the event of an emergency; provided, however, that in the event of any such use by Grantors, their successors or assigns, the breach shall be cured by the payment of resulting damages, if any.

### B. Utility Easements

Reserved to Grantors and Grantors' lessee are two strips of land each ten (10) feet wide lying adjacent to and on each side of the road easement described above and which are legally described in Exhibit "A", designated Part "B", attached hereto and incorporated by reference. Said easement area may be utilized for public or private utilities, lines for said oil and gas operations including lines to transport oil, gas, water and other substances into, across or through the acquired land, slope purposes, drainage purposes, sewer purposes, water storage purposes, water reclamation purposes, emergency access purposes, and any other related purposes. Nothing herein contained shall be construed to permit Grantors or Grantors' lessees to place any above ground structures or lines on the property to be acquired pursuant to this agreement.

### C. Oil and Gas Line(s) Easement

Reserved to Grantors' lessee is an easement ten (10) feet wide adjacent to a portion of La Brea Avenue legally described as Part "C", attached hereto in Exhibit "A". Said easement area may be used for subterranean lines only which may be used for said oil and gas operations.

### D. Easement Relocation Rights

1. In the event that approval of any of the aforesaid easements is not obtained from public or private entities having jurisdiction thereof, Grantors and Grantors' lessees shall have the right to modify the aforesaid easements in such manner so as to conform to the requirements of said entities with the concurrence of the fee owner, which consent shall not be unreasonably withheld.

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2. Prior to the development of any such easement, Grantors and Grantors' lessee shall submit to Grantee or its designate for its approval construction plans showing the design and location of such underground lines and facilities along with a description of the construction project which shall include 1) the commencement date, 2) estimated duration of the construction, 3) the average number of crew members on-site, 4) number of hours of construction per day and the number of days of construction per week, and 5) the type of equipment to be used. Grantee or its designate shall have forty-five (45) days from the date such construction plans and description are received to review and approve such plans and description, which approval shall not be unreasonably withheld. It is contemplated that Grantors and its lessee may be instructed by the Grantee or its designate to refrain from construction during weekends and holidays if such would unreasonably interfere with the use and enjoyment of the lands subject to acquisition herein; further, the Grantee or its designate may adjust the location of such development and/or easement locations as necessary to avoid unreasonable interference with the development of the lands subject to acquisition pursuant to this agreement.
3. Grantee or its designate may relocate any of the easements described herein prior to installation or development by providing Grantors or Grantors' lessees with a replacement easement(s) of substantially equivalent utility and payment of the costs to redescribe the easement. Grantee or its designate may further compel relocation of such lines and facilities actually installed by Grantors or its lessee upon providing replacement easement rights as above, plus tender of payment for all costs of such relocation.

If the installation or maintenance of any pipeline(s) which may be installed pursuant to the rights reserved herein results in damage to Grantee's property or improvements located thereon, Grantors, their successors, assigns or lessees agree to repair such line(s) and restore Grantee's premises to the condition that existed prior to the damage.

Reserved to Grantor's lessee are access easements as may be reasonably necessary for the installation and maintenance of utility, gas and oil lines pursuant to this paragraph.

13. The conveyance of land pursuant to this agreement shall except therefrom all oil, oil rights, minerals, mineral rights, natural gas, natural gas rights, and other nonhydrocarbon and geothermal gases by whatsoever name known that may be within or under said land, together with the perpetual right of drilling, mining, exploring and operating therefor and removing the same from said land or any other land, including the right to whipstock or directionally drill and mine from lands other than those herein described, oil or gas wells, tunnels and shafts into, through or across the



subsurface of the land herein described, and to bottom such whipstock or directionally drilled wells, tunnels and shafts under and beneath or beyond the exterior limits thereof, and to redrill, retunnel, equip, maintain, repair, deepen and operate any such wells or mines, without, however, the right to drill, mine, explore and operate through the surface or the upper 500 feet of the subsurface of the land herein described or otherwise in such manner as to endanger the safety of any improvements that may be constructed on said lands.

14. This transaction must close on April 27, 1984 unless an earlier closing date is requested by both the State and Grantors or their authorized agent.
15. Grantor, Maury L. Spanier, holds title to an undivided interest in the property to be acquired pursuant to the trust in the Estate of Dextra Baldwin McGonagle, which said trust is now pending in the Superior Court of the State of California for the County of Los Angeles as Case No. P518903. Grantor, Maruja Baldwin Hodges, holds title to an undivided interest in the property to be acquired pursuant to the trust in the Estate of Baldwin H. Baldwin, which said trust is now pending in the Superior Court of the State of California for the County of Orange as Case No. A67241. If either Trustee deems an application to any such court is advisable, this agreement is subject to approval of the court in which said Trustee's trust is pending.
16. This agreement is subject to the consent and approval of Chevron, Inc., the oil and gas lessee of the property to be acquired pursuant to this agreement. If such consent is not obtained, this agreement shall terminate without liability to either party. Said acquisition and the construction of said public park will require certain road rerouting and reconstruction, certain fencing and certain relocation of oil and gas production, transmission and storage facilities upon said property by Chevron, Inc. Grantors agree to pay one-half of the total cost of such work but in no event shall Grantors' liability for such costs exceed \$175,000.00. Such sum of \$175,000.00 shall be held in escrow and disbursed upon presentation of invoices for such work. If one-half of the cost of such work is less than \$175,000.00, the remaining balance shall be paid to Grantors.
17. This agreement may be signed in counterpart originals by Grantors and Grantee with the same force and effect as though the signatures of all the Grantors and Grantee were on a single original of this agreement.



## Legal Description

## BALDWIN HILLS REGIONAL COUNTY PARK 2-13C PORTION

## Part A: (For street, road, utility and sewer purposes)

That portion of the Rancho O' Pano de la Tijera, in the County of Los Angeles, State of California, as shown on map recorded in Book 1, page 259, of Patents, in the office of the Registrar-Recorder of said County, within a strip of land 60 feet wide, lying 30 feet on each side of the following described center line:

Beginning at the intersection of the center line of La Brea Avenue, said last mentioned center line is shown on map of Tract No. 20870, filed in Book 803, pages 87, 88 and 89, of Maps, in the office of said Registrar-Recorder, with that certain course of North 73° 01' 02" East 130.70 feet in the center line of Don Lorenzo Drive, as shown on said last mentioned map, said intersection being the beginning of a curve concave to the southeast, tangent to said certain course and having a radius of 850 feet; thence southwesterly along said curve through a central angle of 17° 30' 00" a distance of 259.62 feet; thence South 55° 31' 02" West tangent to said curve 400.00 feet.

## Part B: (For utility, oil and gas operations, slope, drainage, sewer, water storage, reclamation and other such appropriate purposes)

That portion of above mentioned rancho, within a strip of land 60 feet wide, the center line of which is the center line of the 60 foot strip of land above described in Part A.

Excepting from said 60 foot strip of land that portion thereof which lies within said 60 foot strip of land.

Also excepting from above described Parts A and B those portions thereof which lie within above mentioned La Brea Avenue.

Also excepting from above described Parts A and B those portions thereof which lie southwesterly of the following described line:

Beginning at the easterly terminus of that certain course of South 71° 38' 10" West 353.91 feet in the northerly boundary of that certain 100 foot strip of land described in deed to County of Los Angeles, for road purposes, recorded on October 8, 1929, in Book 9320, page 331, of Official Records, in the office of said Registrar-Recorder; thence South 71° 32' 26" West along said certain course 132.81 feet; thence North 21° 40' 58" West 288.83 feet; thence North 19° 11' 08" West 424.79 feet; thence North 58° 07' 38" West 17.15 feet; thence North 24° 20' 16" West 188.22 feet; thence South 66° 58' 59" West 29.16 feet; thence South 8° 44' 12" West 117.57 feet to the beginning of a tangent curve concave to the northwest and having a radius of 20 feet; thence southwesterly along said curve through a central angle of 91° 47' 28" a distance of 32.04 feet; thence North 70° 28' 20" West tangent to said curve 32.85 feet; thence North 55° 16' 28" West 98.34 feet to the beginning of a tangent curve concave to the northeast and having a radius of 80 feet; thence northwesterly along said last mentioned curve through a central angle of 50° 56' 50" a distance of 53.35 feet; thence North 4° 19' 38" West tangent to said last mentioned curve 16.65 feet to the beginning of a tangent curve concave to the east and having a radius of 275 feet; thence northerly along said last mentioned curve through a central angle of 28° 28' 00" a distance of 138.48 feet; thence North 24° 08' 30" East tangent to said last mentioned curve 22.52 feet to a point, said point being the beginning of a curve concave to the north and having a radius of 75 feet, a radius of said last mentioned curve at said point bears South 12° 32' 58" East; thence easterly, northeasterly, northerly, northwesterly and westerly along said last mentioned curve through a central angle of 156° 12' 23" a distance of 204.47 feet; thence North 25° 48' 04" West 9.01 feet; thence North 85° 40' 07" West 161.44 feet.

## Part C: (For oil and gas operations and other appropriate purposes)

That portion of the above mentioned rancho, within a strip of land Ten (10) feet wide, the Easterly side line thereof being described as follows:

Beginning at a point in that certain course described as "South 14° 14' 10" West, 1889.88 feet", in the Westerly boundary of that certain 100 foot strip of land described



In deed to the County of Los Angeles, for road purposes, recorded on October 8, 1920 in Book 9320, page 331, of Official Records, in the office of said Registrar-Recorder, said point being South 14° 00' 45" West, along said certain course, 1808.16 feet; thence continuing South 14° 00' 45" West, along said Westerly boundary, 40.36 feet, more or less, to a point that bears North 75° 50' 15" West, measured at right angles, 50.00 feet, from the Southerly terminus of that certain course shown as "N. 14° 11' 35" E., 118.42 feet" on map of Tract No. 20870 filed in Book 603, pages 97 thru 99, inclusive, of Maps in the office of said Registrar-Recorder, said certain course being in the tangent of that certain curve in the center line of La Brea Avenue shown as having "a radius of 1000 feet, a central angle of 37° 50' 23", a length of 860.43 feet and a tangent of 342.77 feet", on last mentioned map, said point being accepted as being the beginning of a tangent curve concave Northeasterly having a radius of 750.00 feet, in said Westerly boundary; thence Southerly along said tangent curve thru a central angle of 35° 20' 38" an arc distance of 464.40 feet.

EXCEPTING THEREFROM that portion thereof lying southerly of a line described as follows:

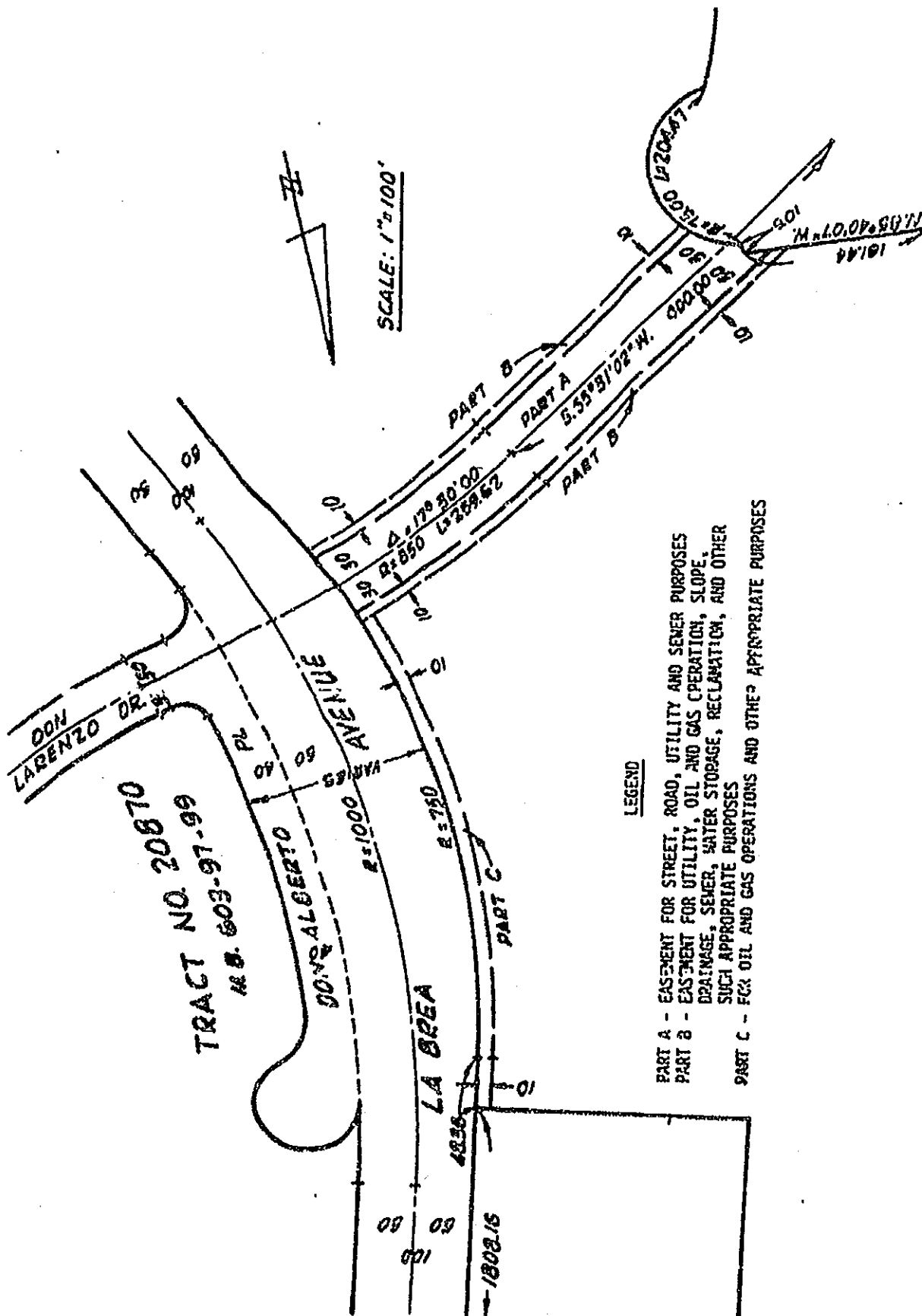
Beginning at the intersection of the center line of La Brea Avenue with that certain course shown as "N. 73° 01' 02" E., 130.70 feet" in the center line of Don Lorenzo Drive as said intersection is shown on said map of Tract No. 20870; thence North 17° 00' 48" West, measured at right angles, from last mentioned certain course, 40.00 feet, to the intersection of a line parallel with and 40.00 feet Northwesterly, measured at right angles from last mentioned certain course, said intersection being the beginning of a curve concave Southeasterly and tangent to said parallel line, having a radius of 800.00 feet; thence Southwesterly along said curve thru a central angle of 17° 30' 00" an arc distance of 271.84 feet.

DESCRIPTION APPROVED

Date: MM 2 81  
STEPHEN J. KOONCE  
County Engineer

By: Richard S. Chan Deputy





**LEGEND**

- PART A - EASEMENT FOR STREET, ROAD, UTILITY AND SEWER PURPOSES
- PART B - EASEMENT FOR UTILITY, OIL AND GAS OPERATION, SLOPE, DRAINAGE, SEWER, WATER STORAGE, RECLAMATION, AND OTHER SUCH APPROPRIATE PURPOSES
- PART C - FOR OIL AND GAS OPERATIONS AND OTHER APPROPRIATE PURPOSES



EXHIBIT "F"

That portion of the Rancho Cienega O'Paso de La Tijera, in the County of Los Angeles, State of California, as shown on map recorded in Book 1, page 259, of Patents, in the office of the Registrar-Recorder of said County, within the following described boundaries:

Beginning at the easterly terminus of that certain course of South 71°38'10" West 353.91 feet in the northerly boundary of that certain 100 foot strip of land described in deed to County of Los Angeles, for road purposes, recorded on October 8, 1929, in Book 9320, page 331, of Official Records, in the office of said Registrar-Recorder; thence South 71°32'26" West along said certain course 132.81 feet; thence North 21°40'59" West 288.03 feet; thence North 19°11'08" West 424.79 feet; thence North 58°07'38" West 17.15 feet; thence North 24°20'16" West 188.22 feet; thence South 66°58'59" West 29.16 feet; thence South 8°44'12" West 117.57 feet to the beginning of a tangent curve concave to the northwest and having a radius of 20 feet; thence southwesterly along said curve through a central angle of 91°47'20" a distance of 32.04 feet; thence North 79°28'20" West tangent to said curve 32.85 feet; thence North 55°16'28" West 96.34 feet to the beginning of a tangent curve concave to the northeast and having a radius of 60 feet; thence northwesterly along said last mentioned curve through a central angle of 50°56'50" a distance of 53.35 feet; thence North 4°19'38" West tangent to said last mentioned curve 16.65 feet to the beginning of a tangent curve concave to the east and having a radius of 275 feet; thence northerly along said last mentioned curve through a central angle of 28°26'08" a distance of 136.48 feet; thence North 24°06'30" East tangent to said last mentioned curve 22.52 feet to a point, said point being the beginning of a curve concave to the north and having a radius of 75 feet, a radial of said last mentioned curve at said point bears South 12°32'58" East; thence easterly, northeasterly, northerly, northwesterly and westerly along said last mentioned curve through a central angle of 156°12'23" a distance of 204.47 feet; thence North 25°48'04" West 9.01 feet; thence North 85°40'07" West 161.44 feet; thence North 24°13'30" West 61.55 feet to the beginning of a tangent curve concave to the east and having a radius of 40 feet; thence northerly along said last mentioned curve through a central angle of 91°01'43" a distance of 63.56 feet; thence North 66°49'13" East tangent to said last mentioned curve 79.85 feet; thence North 22°11'05" West 80.33 feet; thence South 66°33'23" West 202.55 feet; thence North 21°45'25" West 14.99 feet to the beginning of a tangent curve concave to the east and having a radius of 10 feet; thence northerly along said last mentioned curve through a central angle of 45°37'40" a distance of 7.96 feet; thence North 23°52'15" East tangent to said last mentioned curve 73.33 feet to the beginning of a tangent curve concave to the west and having a radius of 150 feet; thence northerly along said last mentioned curve through a central angle of 9°59'36" a distance of 26.16 feet to the beginning of a reverse curve concave to the southeast and having a radius of 120 feet; thence northeasterly along said reverse curve through a central angle of 25°25'18" a distance of 53.24 feet to the beginning of a reverse curve concave to the west and having a radius of 60 feet; thence northerly along said last mentioned reverse curve through a central angle of 92°31'32" a distance of 96.89 feet;



thence North 53°13'35" West tangent to said last mentioned reverse curve  
 153.84 feet; thence North 37°47'42" West 164.73 feet; thence South  
 53°01'49" West 69.52 feet; thence South 38°34'35" East 36.75 feet; thence  
 South 14°39'58" West 29.12 feet to the beginning of a tangent curve con-  
 cave to the northwest and having a radius of 20 feet; thence southwesterly  
 along said last mentioned curve through a central angle of 98°43'23" a  
 distance of 34.46 feet; thence North 66°36'39" West tangent to said last  
 mentioned curve 144.27 feet; thence North 0°06'00" West 469.12 feet;  
 thence North 17°14'16" East 55.16 feet; thence North 0°06'45" West 163.47  
 feet to the beginning of a tangent curve concave to the southwest and  
 having a radius of 35 feet; thence northwesterly along said last mentioned  
 curve through a central angle of 90°06'15" a distance of 55.04 feet; thence  
 South 89°47'00" West tangent to said last mentioned curve 65.66 feet to the  
 beginning of a tangent curve concave to the northeast and having a radius  
 of 45 feet; thence northwesterly along said last mentioned curve through a  
 central angle of 66°40'02" a distance of 52.36 feet to the beginning of a  
 compound curve concave to the east and having a radius of 160 feet; thence  
 northerly along said compound curve through a central angle of 38°57'52"  
 a distance of 108.81 feet; thence North 15°24'54" East tangent to said com-  
 pound curve 12.24 feet to the beginning of a tangent curve concave to the  
 southeast and having a radius of 125 feet; thence northeasterly along said  
 last mentioned curve through a central angle of 46°05'51" a distance of  
 100.57 feet; thence North 61°30'45" East tangent to said last mentioned  
 curve 54.30 feet to the beginning of a curve concave to the northwest,  
 having a radius of 55 feet, tangent to said last mentioned course and tan-  
 gent to the southerly prolongation of the easterly line of that certain  
 parcel of land described in deed to The Pacific Telephone and Telegraph  
 Company, recorded as Document No. 238, on January 21, 1965, in Book 02771,  
 page 739, of said Official Records; thence northeasterly along said last  
 mentioned curve 57.40 feet to said southerly prolongation; thence North  
 1°42'43" East along said southerly prolongation and said easterly line  
 360.21 feet to the northeasterly corner of said last mentioned certain par-  
 cel of land; thence South 80°57'50" West along the northerly line of said  
 last mentioned certain parcel of land 89.19 feet; thence North 21°33'03"  
 West 261.94 feet to the northerly line of that certain parcel of land de-  
 scribed in deed to Brian M. Baldwin, recorded on June 12, 1978, as Official  
 Records Document No. 78-629284, in the office of said Registrar-Recorder;  
 thence North 69°00'22" East along said northerly line to the westerly bound-  
 ary of La Brea Avenue, as same existed on December 13, 1982; thence south-  
 erly along said La Brea Avenue to a point in that certain course of South  
 14°14'10" West 1855.98 feet in the westerly boundary of said certain 100  
 foot strip of land, distant South 14°09'45" West along said last mentioned  
 certain course 1437.80 feet from the northerly terminus thereof; thence  
 North 75°50'15" West 235.00 feet; thence South 14°09'45" West 370.36 feet;  
 thence South 75°50'15" East 257.53 feet to said westerly boundary of La  
 Brea Avenue; thence southerly and southeasterly along La Brea Avenue to the  
 northwesterly boundary of Stocker Street, as same existed on December 13,  
 1982; thence southwesterly and westerly along said Stocker Street to the  
 point of beginning.



That portion of the Rancho Cienega O'Paso de La Tijera, in the County of Los Angeles, State of California, as shown on map recorded in Book 1, page 259, of Patents, in the office of the Registrar-Recorder of said County, within the following described boundaries:

Beginning at the northwesterly corner of that certain parcel of land described in deed to Brian M. Baldwin, recorded on June 12, 1978, as Official Records Document No. 78-629284, in the office of said Registrar-Recorder; thence South 2°32'45" West along the westerly line of said certain parcel of land 330.00 feet; thence South 87°27'15" East 100.00 feet; thence South 42°27'15" East 35.00 feet; thence South 87°27'15" East 35.00 feet; thence South 42°27'15" East 25.00 feet; thence South 2°32'45" West 73.00 feet; thence South 87°27'15" East 105.00 feet; thence South 76°27'15" East 80.00 feet; thence North 87°41'07" East 117.54 feet, more or less, to a point in that certain course of South 51°22'43" East 464.62 feet in the northeasterly boundary of said certain parcel of land distant South 51°23'41" East along said certain course 345.00 feet from the northwesterly terminus thereof; thence North 51°23'41" West 345.00 feet and North 36°15'40" West 317.81 feet along said northeasterly boundary to the point of beginning.

That portion of the Rancho Cienega O'Paso de La Tijera, in the County of Los Angeles, State of California, as shown on map recorded in Book 1, page 259, of Patents, in the office of the Registrar-Recorder of said County, within the following described boundaries:

Commencing at the northeasterly corner of that certain parcel of land described in deed to The Pacific Telephone and Telegraph Company, recorded as Document No. 238, on January 21, 1965, in Book D2771, page 739, of Official Records, in the office of said Registrar-Recorder; thence South 0°51'50" West along the northerly line of said certain parcel of land 89.19 feet; thence North 21°33'03" West 261.94 feet to a point in the northerly line of that certain parcel of land described in deed to Brian M. Baldwin, recorded on June 12, 1978, as Official Records Document No. 78-629284, in the office of said Registrar-Recorder, said point being the true point of beginning; thence South 69°00'22" West along said last mentioned northerly line 436.53 feet to a point in said last mentioned northerly line distant North 69°00'22" East thereon 105.00 feet from the westerly terminus thereof; thence South 72°59'38" East 105.00 feet; thence North 67°00'22" East 354.51 feet to said course of North 21°33'03" West 261.94 feet; thence North 21°33'03" West 52.27 feet to said true point of beginning.

In order to insure Grantors the orderly and efficient development of said remaining property in the future and to enable future development of oil and gas from surface locations on adjoining lands by Grantors' lessee, the acquisition pursuant to this agreement shall be subject to, and there shall be reserved to Grantors and Grantors' lessee, easements in, under, over or across the acquired land and appurtenant to Grantors' said remaining property as set forth hereinafter.



PART A: (For Street, road, utility and sewer purposes)

That portion of the Rancho Cienega O'Paso de la Tijera, in the County of Los Angeles, State of California, as shown on map recorded in Book 1, Page 259, of Patents, in the office of the Registrar-Recorder of said County, within a strip of land 60 feet wide, lying 30 feet on each side of the following described center line:

Beginning at the intersection of the center line of La Brea Avenue, said last mentioned center line is shown on map of Tract No. 20870, filed in Book 603, Pages 97, 98 and 99, of M.p.s. in the office of said Registrar-Recorder, with that certain course of North 73° 01' 02" East 130.70 feet in the center line of Don Lorenzo Drive, as shown on said last mentioned map, said intersection being the beginning of a curve concave to the south-east, tangent to said certain course and having a radius of 850 feet; thence southwesterly along said curve through a central angle of 17° 30' 00" a distance of 259.62 feet; thence South 55° 31' 02" West tangent to said curve 400.00 feet.

PART B: (For utility, oil and gas operations, slope, drainage, sewer, water storage, reclamation and other such appropriate purposes)

That portion of above mentioned rancho, within a strip of land 80 feet wide, the center line of which is the center line of the 60 feet strip of land above described in Part A.

Excepting from said 80 foot strip of land that portion thereof which lies within said 60 foot strip of land.

Also excepting from above described Parts A and B those portions thereof which lie within above mentioned La Brea Avenue.

Also excepting from above described Parts A and B those portions thereof which lie southwesterly of the following described line:

Beginning at the easterly terminus of that certain course of South 71° 38' 10" West 353.91 feet in the northerly boundary of that certain 100 foot strip of land described in deed to County of Los Angeles, for road purposes, recorded on October 8, 1929, in Book 9320, Page 331, of Official Records, in the office of said Registrar-Recorder; thence South 71° 32' 26" West along said certain course 132.81 feet; thence North 21° 40' 59" West 288.83 feet; thence North 19° 11' 08" West 424.79 feet; thence North 56° 07' 38" West 17.15 feet; thence North 24° 20' 16" West 100.22 feet; thence South 66° 58' 59" West 29.16 feet; thence South 8° 44' 12" West 117.57 feet to the beginning of a tangent curve concave to the northwest and having a radius of 20 feet; thence southwesterly along said curve through a central angle of 91° 47' 28" a distance of 32.04 feet; thence North 79° 28' 20" West tangent to said curve 32.85 feet; thence North 55° 16' 28" West 96.34 feet to the beginning of a tangent curve concave to the northeast and having a radius of 60 feet; thence northwesterly along said last mentioned curve through a central angle of 50° 56' 50" a distance of 53.35 feet; thence North 4° 19' 38" West tangent to said last mentioned curve 16.65 feet to the beginning of a tangent curve concave



to the east and having a radius of 275 feet; thence northerly along said last mentioned curve through a central angle of  $28^{\circ} 26' 08''$  a distance of 136.48 feet; thence North  $24^{\circ} 06' 30''$  East tangent to said last mentioned curve 22.52 feet to a point, said point being the beginning of a curve concave to the north and having a radius of 75 feet, a radial of said last mentioned curve at said point bears South  $12^{\circ} 32' 58''$  East; thence easterly, northeasterly, northerly, northwesterly and westerly along said last mentioned curve through a central angle of  $156^{\circ} 12' 23''$  a distance of 204.47 feet; thence North  $25^{\circ} 48' 04''$  West 9.01 feet; thence North  $85^{\circ} 40' 07''$  West 161.44 feet.

PART C: (For oil and gas operations and other appropriate purposes)

That portion of the above mentioned rancho, within a strip of land 10 feet wide, the easterly side line thereof being described as follows:

Beginning at a point in that certain course described as "South  $14^{\circ} 14' 10''$  West, 1,855.98 feet, in the westerly boundary of that certain 100 foot strip of land described in deed to the County of Los Angeles, for road purposes, recorded on October 8, 1929 in Book 9320, Page 331, of Official Records, in the office of said Registrar-Recorder, said point being South  $14^{\circ} 09' 45''$  West, along said certain course, 1,808.16 feet; thence continuing South  $14^{\circ} 09' 45''$  West, along said westerly boundary, 48.36 feet, more or less, to a point that bears North  $75^{\circ} 50' 15''$  West, measured at right angles, 50.00 feet, from the southerly terminus of that certain course shown as "N.  $14^{\circ} 11' 35''$  E., 118.42 feet" on map of Tract No. 20870 filed in Book 603, Pages 97 thru 99, inclusive, of Maps in the office of said Registrar-Recorder, said certain course being in the tangent of that certain curve in the center line of La Brea Avenue shown as having "a radius of 1,000 feet, a central angle of  $37^{\circ} 50' 23''$ , a length of 660.43 feet and a tangent of 342.77 feet", on last mentioned map, said point being accepted as being the beginning of a tangent curve concave northeasterly having a radius of 750.00 feet, in said westerly boundary; thence southerly along said tangent curve thru a central angle of  $35^{\circ} 28' 38''$  an arc distance of 464.40 feet.

Excepting therefrom that portion thereof lying southerly of a line described as follows:

Beginning at the intersection of the center line of La Brea Avenue with that certain course shown as "N.  $73^{\circ} 01' 02''$  E., 130.70 feet" in the center line of Don Lorenzo Drive as said intersection is shown on said map of Tract No. 20870; thence North  $17^{\circ} 00' 48''$  West, measured at right angles, from last mentioned certain course, 40.00 feet, to the intersection of a line parallel with and 40.00 feet northwesterly, measured at right angles from last mentioned certain course, said intersection being the beginning of a curve concave southeasterly and tangent to said parallel line, having a radius of 890.00 feet; thence southwesterly along said curve thru a central angle of  $17^{\circ} 30' 00''$  an arc distance of 271.84 feet.



RECORDED IN OFFICIAL RECORDS  
RECORDER'S OFFICE  
LOS ANGELES COUNTY  
CALIFORNIA

84- 575903

WHEN RECORDED MAIL TO 31 MIN 10 AM MAY 16 1984  
PAST

FILE 9 G

STATE OF CALIFORNIA  
DEPARTMENT OF GENERAL SERVICES  
REAL ESTATE SERVICES DIVISION  
655 MARKET STREET  
Sacramento CA 95825-4699

UNITARY TRUST FOR THE STATE OF CALIFORNIA  
OFFICE OF THE ATTORNEY GENERAL  
OFFICE OF THE ATTORNEY GENERAL  
OFFICE OF THE ATTORNEY GENERAL

STATE AND COUNTY OF LOS ANGELES

7997213 18612  
CORPORATION GRANT DEED

Agency Parks and Recreation  
Project Baldwin Hills  
Parcel 5462

DEXTRA BALDWIN MCGONAGLE FOUNDATION, INC.

OFFICE OF BUSINESS  
Document Submitted to Title Recording  
Gov. Code Sec. 5462

a corporation organized under the laws of the State of New York, all of its rights, title and interest in and to the real property in the County of Los Angeles, State of California, more particularly described in Exhibit "F" attached hereto and made a part hereof.

Free and clear of all liens, ~~interests~~ encumbrances, easements, easements of record, or otherwise, and of taxes except:

- (a) Easement or rights of way of record for public roads or public utilities, if any;
- (b) Items 2 through 23 of Litigation Guarantee No. 7897213 prepared by Title Insurance and Trust Company dated June 27, 1980;
- (c) All oil, oil rights, minerals, mineral rights, natural gas, natural gas rights, and other non-hydrocarbon and geothermal gases by whatsoever name known that may be within or under said land, together with the perpetual right of drilling, mining, exploring and operating therefor and removing the same from said land or any other land, including the right to whipstock or directionally drill and mine from lands other than those herein described, oil or gas wells, tunnels and shafts into, through or across the subsurface of the land herein described, and to bottom such whipstock or directionally drilled wells, tunnels and shafts under and beneath or beyond the exterior limits thereof, and to redrill, re-tunnel, equip, maintain, repair, deepen and operate any such wells or mines, without, however, the right to drill, mine, explore and operate through the surface or the upper 500 feet of the subsurface of the land herein described or otherwise in such manner as to endanger the safety of any improvements that may be constructed on said lands.

Dated March 27, 1984

By: Maury L. Spencer  
Attorney

Subscribing Witness



STATE OF CALIFORNIA } SS.  
COUNTY OF LOS ANGELES }

On this the 27<sup>th</sup> day of March 1984  
before me, the undersigned, a Notary Public in and  
for said County and State, personally appeared  
MAURY L. SPANIER

MAURY L. SPANIER proved to me on  
the basis of satisfactory evidence to be the  
Chairman of the corporation that  
executed the within instrument, on behalf of the  
corporation therein named, and acknowledged to me  
that such corporation executed the within instrument  
pursuant to its by-laws or a resolution of its  
board of directors.

Geraldine M. Irvine  
(Notary signature line)  
Geraldine M. Irvine

84-575903 ✓

FOR NOTARY SEAL OR STAMP

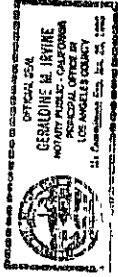




EXHIBIT "F"

That portion of the Rancho Cienega O'Paso de La Tijera, in the County of Los Angeles, State of California, as shown on map recorded in Book 1, page 259, of patents, in the office of the Registrar-Recorder of said County, within the following described boundaries:

Beginning at the easterly terminus of that certain course of South 71°38'10" West 353.91 feet in the northerly boundary of that certain 100 foot strip of land described in deed to County of Los Angeles, for road purposes, recorded on October 8, 1929, in Book 9320, page 331, of Official Records, in the office of said Registrar-Recorder, thence South 71°32'26" West along said certain course 132.81 feet; thence North 21°40'59" West 288.83 feet; thence North 19°11'08" West 424.79 feet; thence North 58°07'38" West 17.15 feet; thence North 24°20'16" West 188.22 feet; thence South 60°00'59" West 25.10 feet, thence South 8°44'12" West 117.47 feet to the beginning of a tangent curve concave to the northwest and having a radius of 20 feet; thence southwesterly along said curve through a central angle of 91°47'28" a distance of 32.04 feet; thence North 79°28'20" West tangent to said curve 32.85 feet; thence North 55°16'28" West 96.34 feet to the beginning of a tangent curve concave to the northeast and having a radius of 60 feet; thence northwesterly along said last mentioned curve through a central angle of 50°56'50" a distance of 53.35 feet; thence North 4°19'38" West tangent to said last mentioned curve 16.65 feet to the beginning of a tangent curve concave to the east and having a radius of 275 feet; thence northerly along said last mentioned curve through a central angle of 28°26'08" a distance of 136.48 feet; thence North 24°06'30" East tangent to said last mentioned curve 22.52 feet to a point, said point being the beginning of a curve concave to the north and having a radius of 75 feet, a radial of said last mentioned curve at said point bears South 12°32'58" East, thence easterly, northeasterly, northerly, northwesterly and westerly along said last mentioned curve through a central angle of 156°12'23" a distance of 204.47 feet; thence North 25°48'04" West 9.01 feet; thence North 85°40'07" West 161.44 feet; thence North 24°13'30" West 61.55 feet to the beginning of a tangent curve concave to the east and having a radius of 40 feet; thence northerly along said last mentioned curve through a central angle of 91°01'43" a distance of 63.56 feet; thence North 66°49'13" East tangent to said last mentioned curve 79.85 feet; thence North 22°11'05" West 80.33 feet; thence South 66°33'23" West 202.55 feet; thence North 21°45'25" West 14.99 feet to the beginning of a tangent curve concave to the east and having a radius of 10 feet, thence northerly along said last mentioned curve through a central angle of 45°37'40" a distance of 7.96 feet; thence North 23°52'15" East tangent to said last mentioned curve 73.33 feet to the beginning of a tangent curve concave to the west and having a radius of 150 feet; thence northerly along said last mentioned curve through a central angle of 9°59'36" a distance of 26.16 feet to the beginning of a reverse curve concave to the southeast and having a radius of 120 feet; thence northeasterly along said reverse curve through a central angle of 25°25'18" a distance of 53.24 feet to the beginning of a reverse curve concave to the west and having a radius of 60 feet; thence northerly along said last mentioned reverse curve through a central angle of 92°31'32" a distance of 96.89 feet;

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thence North 53°13'35" West tangent to said last mentioned reverse curve 153.84 feet; thence North 37°47'42" West 164.73 feet; thence South 53°01'49" West 69.57 feet; thence South 38°34'35" East 36.75 feet; thence South 14°39'58" West 29.12 feet to the beginning of a tangent curve concave to the northwest and having a radius of 20 feet; thence southwesterly along said last mentioned curve through a central angle of 98°43'23" a distance of 34.46 feet; thence North 65°36'39" West tangent to said last mentioned curve 144.27 feet; thence North 0°06'00" West 469.12 feet; thence North 17°14'16" East 55.16 feet, thence North 0°06'45" West 163.47 feet to the beginning of a tangent curve concave to the southwest and having a radius of 35 feet; thence northwesterly along said last mentioned curve through a central angle of 90°06'15" a distance of 55.04 feet; thence South 89°41'00" West tangent to said last mentioned curve 64.66 feet to the beginning of a tangent curve concave to the northeast and having a radius of 45 feet; thence northwesterly along said last mentioned curve through a central angle of 55°40'00" a distance of 52.36 feet to the beginning of a compound curve concave to the east and having a radius of 160 feet; thence northerly along said compound curve through a central angle of 38°57'57" a distance of 108.81 feet; thence North 15°24'54" East tangent to said compound curve 12.24 feet to the beginning of a tangent curve concave to the southeast and having a radius of 125 feet; thence northeasterly along said last mentioned curve through a central angle of 46°05'51" a distance of 100.57 feet; thence North 51°30'45" East tangent to said last mentioned curve 54.30 feet to the beginning of a curve concave to the northwest, having a radius of 55 feet, tangent to said last mentioned course and tangent to the southerly prolongation of the easterly line of that certain parcel of land described in deed to The Pacific Telephone and Telegraph Company, recorded as Document No. 238, on January 21, 1965, in Book D2771, page 739, of said Official Records; thence northeasterly along said last mentioned curve 57.40 feet to said southerly prolongation; thence North 1°42'43" East along said southerly prolongation and said easterly line 360.21 feet to the northeasterly corner of said last mentioned certain parcel of land; thence South 80°57'50" West along the northerly line of said last mentioned certain parcel of land 89.19 feet; thence North 21°33'03" West 261.94 feet to the northerly line of that certain parcel of land described in deed to Brian M. Baldwin, recorded on June 12, 1978, as Official Records Document No. 78-629284, in the office of said Registrar-Recorder; thence North 69°00'22" East along said northerly line to the westerly boundary of La Brea Avenue, as same existed on December 13, 1982; thence southerly along said La Brea Avenue to a point in that certain course of South 14°14'10" West 1855.98 feet in the westerly boundary of said certain 100 foot strip of land, distant South 14°09'45" West along said last mentioned certain course 1437.80 feet from the northerly terminus thereof; thence North 75°50'15" West 235.00 feet; thence South 14°09'45" West 370.36 feet; thence South 75°50'15" East 237.39 feet to said westerly boundary of La Brea Avenue; thence southerly and southeasterly along La Brea Avenue to the northwesterly boundary of Stocker Street, as same existed on December 13, 1982; thence southwesterly and westerly along said Stocker Street to the point of beginning.

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That portion of the Rancho Cienega O'Paso de La Tijera, in the County of Los Angeles, State of California, as shown on map recorded in Book 1, page 259, of Patents, in the office of the Registrar-Recorder of said County, within the following described boundaries:

Beginning at the northwesterly corner of that certain parcel of land described in deed to Brian M. Baldwin, recorded on June 12, 1978, as Official Records Document No. 78-629284, in the office of said Registrar-Recorder; thence South 2°32'45" West along the westerly line of said certain parcel of land 330.00 feet; thence South 87°27'15" East 100.00 feet; thence South 42°27'15" East 35.00 feet; thence South 87°27'15" East 35.00 feet; thence South 42°27'15" East 25.00 feet; thence South 2°32'45" West 73.00 feet; thence South 87°27'15" East 105.00 feet; thence South 76°27'15" East 80.00 feet; thence North 87°41'07" East 117.54 feet, more or less, to a point in that certain course of South 51°22'43" East 464.62 feet in the northeasterly boundary of said certain parcel of land distant South 51°23'41" East along said certain course 345.00 feet from the northwesterly terminus thereof; thence North 51°23'41" West 345.00 feet and North 36°15'40" West 317.81 feet along said northeasterly boundary to the point of beginning.

That portion of the Rancho Cienega O'Paso de La Tijera, in the County of Los Angeles, State of California, as shown on map recorded in Book 1, page 259, of Patents, in the office of the Registrar-Recorder of said County, within the following described boundaries:

Commencing at the northeasterly corner of that certain parcel of land described in deed to The Pacific Telephone and Telegraph Company, recorded as Document No. 238, on January 21, 1965, in Book 92771, page 739, of Official Records, in the office of said Registrar-Recorder; thence South 80°57'50" West along the northerly line of said certain parcel of land 89.19 feet; thence North 21°33'03" West 261.94 feet to a point in the northerly line of that certain parcel of land described in deed to Brian M. Baldwin, recorded on June 12, 1978, as Official Records Document No. 78-629284, in the office of said Registrar-Recorder, said point being the true point of beginning; thence South 69°00'22" West along said last mentioned northerly line 436.53 feet to a point in said last mentioned northerly line distant North 69°00'22" East thereon 105.00 feet from the westerly terminus thereof; thence South 72°59'38" East 105.00 feet; thence North 67°00'22" East 354.51 feet to said course of North 21°33'03" West 261.94 feet; thence North 21°33'03" West 52.27 feet to said true point of beginning.

In order to insure Grantors the orderly and efficient development of said remaining property in the future and to enable future development of oil and gas from surface locations on adjoining lands by Grantors' lessee, the acquisition pursuant to this agreement shall be subject to, and there shall be reserved to Grantors and Grantors' lessee, easements in, under, over or across the acquired land and appurtenant to Grantors' said remaining property as set forth hereinafter.

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PART A: (For Street, road, utility and sewer purposes)

That portion of the Rancho Cienega O'Paso de la Tijera, in the County of Los Angeles, State of California, as shown on map recorded in Book 1, Page 259, of Patents, in the office of the Registrar-Recorder of said County, within a strip of land 60 feet wide, lying 30 feet on each side of the following described center line:

Beginning at the intersection of the center line of La Brea Avenue, said last mentioned center line is shown on map of Tract No. 20870, filed in Book 603, Pages 97, 98 and 99, of Maps, in the office of said Registrar-Recorder, with that certain course of North 73° 01' 02" East 130.70 feet in the center line of Don Lorenzo Drive, as shown on said last mentioned map, said intersection being the beginning of a curve concave to the south-east, tangent to said certain course and having a radius of 850 feet. thence southwesterly along said curve through a central angle of 17° 30' 00" a distance of 259.62 feet; thence South 55° 31' 02" West tangent to said curve 400.00 feet.

PART B: (For utility, oil and gas operations, slope, drainage, sewer, water storage, reclamation and other such appropriate purposes)

That portion of above mentioned rancho, within a strip of land 80 feet wide, the center line of which is the center line of the 60 feet strip of land above described in Part A.

Excepting from said 80 foot strip of land that portion thereof which lies within said 60 foot strip of land.

Also excepting from above described Parts A and B those portions thereof which lie within above mentioned La Brea Avenue.

Also excepting from above described Parts A and B those portions thereof which lie southwesterly of the following described line:

Beginning at the easterly terminus of that certain course of South 71° 38' 10" West 353.91 feet in the northerly boundary of that certain 100 foot strip of land described in deed to County of Los Angeles, for road purposes, recorded on October 8, 1929, in Book 9320, Page 331, of Official Records, in the office of said Registrar-Recorder; thence South 71° 32' 26" West along said certain course 132.81 feet; thence North 21° 40' 59" West 288.83 feet; thence North 19° 11' 08" West 424.79 feet; thence North 58° 07' 38" West 17.15 feet; thence North 24° 20' 16" West 188.22 feet; thence South 66° 58' 59" West 29.16 feet; thence South 8° 44' 12" West 117.57 feet to the beginning of a tangent curve concave to the northwest and having a radius of 20 feet; thence southwesterly along said curve through a central angle of 91° 47' 28" a distance of 32.04 feet; thence North 79° 28' 20" West tangent to said curve 32.85 feet; thence North 55° 16' 28" West 96.34 feet to the beginning of a tangent curve concave to the northeast and having a radius of 60 feet; thence northwesterly along said last mentioned curve through a central angle of 50° 56' 50" a distance of 53.35 feet; thence North 4° 19' 38" West tangent to said last mentioned curve 16.65 feet to the beginning of a tangent curve concave



to the east and having a radius of 275 feet; thence northerly along said last mentioned curve through a central angle of  $28^{\circ} 26' 08''$  a distance of 136.48 feet; thence North  $24^{\circ} 06' 30''$  East tangent to said last mentioned curve 22.52 feet to a point, said point being the beginning of a curve concave to the north and having a radius of 75 feet, a radial of said last mentioned curve at said point bears South  $12^{\circ} 32' 58''$  East; thence easterly, northeasterly, northerly, northwesterly and westerly along said last mentioned curve through a central angle of  $156^{\circ} 12' 23''$  a distance of 204.47 feet; thence North  $25^{\circ} 48' 04''$  West 9.01 feet; thence North  $85^{\circ} 40' 07''$  West 161.44 feet.

PART C: (For oil and gas operations and other appropriate purposes)

That portion of the above mentioned rancho, within a strip of land 10 feet wide, the easterly side line thereof being described as follows:

Beginning at a point in that certain course described as "South  $14^{\circ} 14' 10''$  West, 1,855.98 feet, in the westerly boundary of that certain 100 foot strip of land described in deed to the County of Los Angeles, for road purposes, recorded on October 8, 1929 in Book 9320, Page 331, of Official Records, in the office of said Registrar-Recorder, said point being South  $14^{\circ} 09' 45''$  West, along said certain course, 1,808.16 feet; thence continuing South  $14^{\circ} 09' 45''$  West, along said westerly boundary, 48.36 feet, more or less, to a point that bears North  $75^{\circ} 50' 15''$  West, measured at right angles, 50.00 feet, from the southerly terminus of that certain course shown as "N.  $14^{\circ} 11' 35''$  E., 118.42 feet" on map of Tract No. 20870 filed in Book 603, Pages 97 thru 99, inclusive, of Maps in the office of said Registrar-Recorder, said certain course being in the tangent of that certain curve in the center line of La Brea Avenue shown as having "a radius of 1,000 feet, a central angle of  $37^{\circ} 50' 23''$ , a length of 660.4 feet and a tangent of 342.77 feet", on last mentioned map, said point being accepted as being the beginning of a tangent curve concave northeasterly having a radius of 750.00 feet, in said westerly boundary; thence southerly along said tangent curve thru a central angle of  $35^{\circ} 28' 38''$  an arc distance of 454.40 feet.

Excepting therefrom that portion thereof lying southerly of a line described as follows:

Beginning at the intersection of the center line of La Brea Avenue with that certain course shown as "N.  $73^{\circ} 01' 02''$  E., 130.70 feet" in the center line of Don Lorenzo Drive as said intersection is shown on said map of Tract No. 20870; thence North  $17^{\circ} 00' 48''$  West, measured at right angles, from last mentioned certain course, 40.00 feet, to the intersection of a line parallel with and 40.00 feet northwesterly, measured at right angles from last mentioned certain course, said intersection being the beginning of a curve concave southeasterly and tangent to said parallel line, having a radius of 890.00 feet; thence southwesterly along said curve thru a central angle of  $17^{\circ} 30' 00''$  an arc distance of 271.84 feet.



AGENCY: Parks and Recreation

PROJECT: Baldwin Hills

PARCEL 5402

CERTIFICATE OF ACCEPTANCE

This is to certify that the interest in real property conveyed by the deed dated March 27, 1984, from Dextra Baldwin McGonagle Foundation, Inc. to the State of California, is hereby accepted by the undersigned officer on behalf of the State Public Works Board pursuant to authority conferred by resolution of said Board duly adopted and the grantee consents to the recordation thereof by its duly authorized officer.

State of California  
State Public Works Board

By John H. Brooks  
Assistant Administrative  
Secretary

Dated APR 30 1984

84- 575903

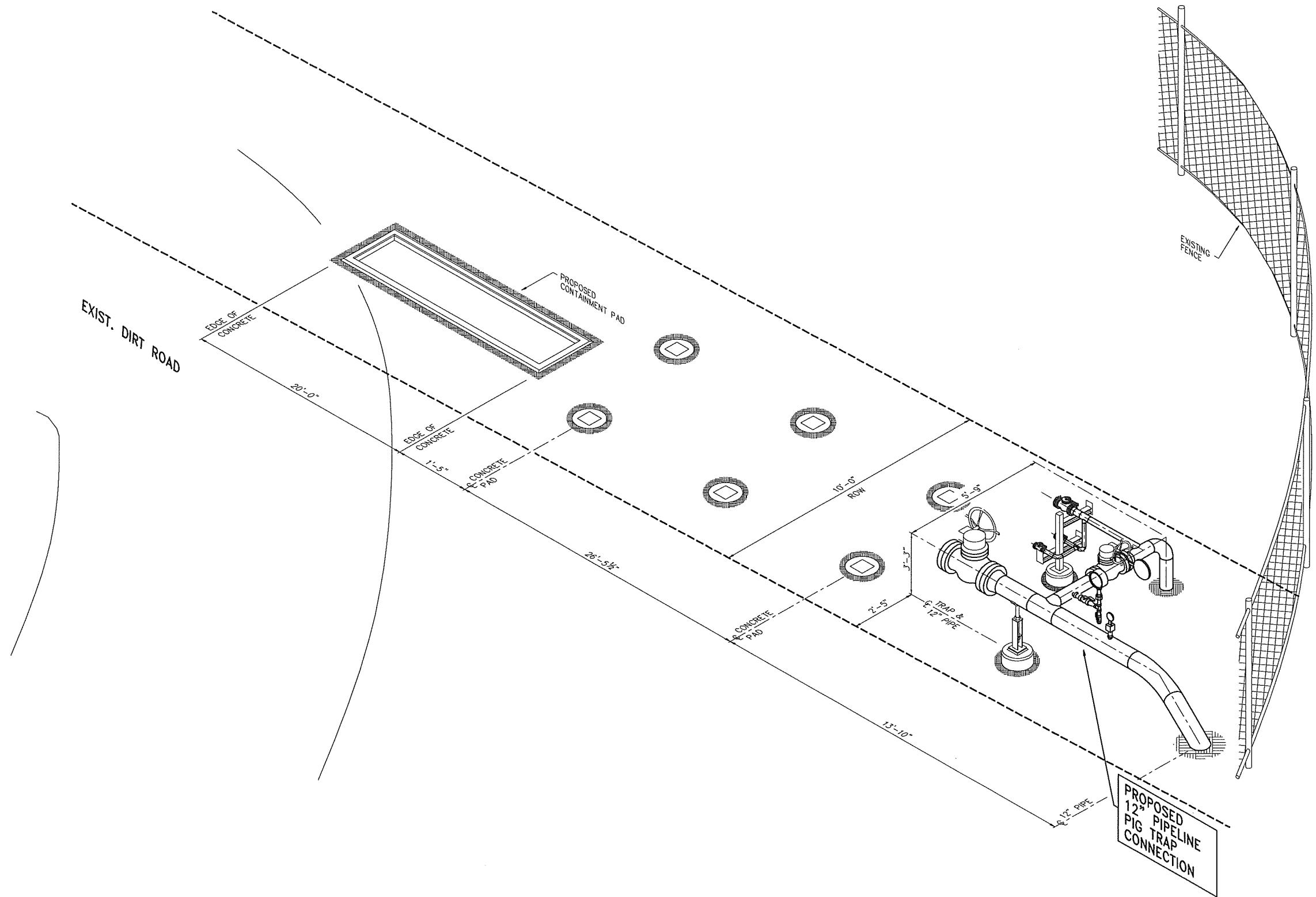
APPROVED:  
DEPARTMENT OF GENERAL SERVICES

Edward A. Smith  
By Director Chief Land Agent









ISOMETRIC VIEW  
**LAUNCHER TRAP CONNECTION**  
 SCALE: N.T.S.

**ISSUED FOR  
 APPROVAL**  
 FEB 10, 2009

**SPEC SERVICES**  
 SPEC Services, Inc.  
 17101 Bushard Street  
 Fountain Valley, CA 92708  
 (714) 963-8077

REV. NO.	DATE	REVISED	DESTROY ALL PRINTS BEARING EARLIER DATE	REV. BY	CHK. BY	APP'D	APPROVED FOR CONSTRUCTION			DRAWN BY
A	02/06/09	ISSUED FOR APPROVAL		TM	TM		A. F. E.	DATE	SIGNED	CHECKED BY
B	02/10/09	ISSUED FOR APPROVAL		NJP	TM					TRACED BY
										TRAC'G. CHK
										APP'D
										APP'D
										SCALE
										DATE

**12" PIPELINE REPLACEMENT  
 COUNTY OF LOS ANGELES, CA.  
 LAUNCHER TRAP CONNECTION**  
**PXP**  
 DRAWING NO.  
**4338-P-501**  
 SHEETS



Recording Requested by and  
when recorded mail to:

Plains Exploration & Production Company  
5640 S. Fairfax Ave.  
Los Angeles, California 90056  
Attention: Land Department

#### CONSENT TO COMMON USE OF PRIOR RIGHTS EASEMENT

This Consent to Common Use of Prior Right's Easement Agreement (hereinafter the "Agreement") is entered into as of this \_\_\_\_\_ day of June 2013 by and between BALDWIN STOCKER, LLC ("Baldwin"), a California limited liability company, and the Lessor under the Baldwin-Cienega Lease ("BC Lease"), whose office address is c/o Helen Wu, J. Arthur Greenfield & Co., 924 Westwood Avenue, Suite 1000, Los Angeles, CA 90024, PLAINS EXPLORATION & PRODUCTION COMPANY, a Delaware Corporation, (hereinafter "PXP"), formerly Stocker Resources, L.P., as operating agent for Chevron USA, Inc. ("Chevron"), the current Lessee under the BC Lease, with PXP's address at 5640 S. Fairfax Ave., Los Angeles, California 90056, and the County of Los Angeles, a body corporate and politic( hereinafter "COUNTY"), as manager, operator and agent of the Kenneth Hahn State Recreational Area ("KHSRA") for the State of California, the owner of the surface of the KHSRA, hereinafter collectively referred to as the "Parties."

#### WITNESSETH

WHEREAS, Baldwin is the owner, as successor in interest, of the Lessor's interest under that certain Indenture of Lease dated March 28, 1923, as amended, by and between Anita M. Baldwin, as Lessor, and Pacific Oil Company, Chevron's predecessor in interest, as Lessee,



notice of which was recorded in Book 209 at Page 310 of the Official Records of Los Angeles County, California, covering certain lands more particularly therein described, which lease and lands are hereinafter referred to as the "BC Lease"; and

WHEREAS, PXP is the operating agent for Chevron, the current Lessee under the BC Lease, with respect to all matters arising out of or in regard to the Prior Easements under the BC Lease by virtue of an Operating Agreement and Assignment of Production by Chevron to PXP, as amended and extended on the 20<sup>th</sup> day of February, 2010 but effective as of May 1, 1990, covering the BC Lease (hereinafter the "Operating Agreement"), except for those matters as to which Baldwin either has sole or joint rights and responsibilities with PXP; and

WHEREAS, Baldwin and Chevron, are the owner and co-owner of record of certain easements reserved to them in (1) five separate Property Acquisition Agreements each dated March 27, 1984, by and between various Baldwin predecessors, as Grantors, and the State of California, acting through the State's Public Works Board, as Grantee, recorded July 24, 1984 as Documents No. 84-879499 through 84-879503, inclusive, of Official Records of Los Angeles County, California, the terms and conditions thereof being identical, a copy of Document No. 84-879499 being attached hereto as Exhibit A (those five Property Acquisition Agreements being incorporated herein and herein referred to collectively as the "Property Acquisition Agreements"), and (2) those certain Corporation Grant Deeds dated March 27, 1984, from the various Baldwin predecessors, as Grantors, to the State of California, acting through the State's Public Works Board, as Grantee, recorded May 14, 1984 as Documents No. 84-575903 through 84-575907, inclusive, of Official Records of Los Angeles County, California, a copy of Document No. 84-575903 being attached hereto as Exhibit B (those Corporation Grant Deeds being herein referred to collectively as the "Corporation Grant Deeds"), said Property Acquisition Agreements and Corporation Grant Deeds having reserved and created, among other easements, what are hereafter collectively referred to as the "Prior



Easements," affecting that property located in the County of Los Angeles, State of California, as more particularly described on pages 10, 14 & 15 of Exhibit A; and

WHEREAS, said Prior Easements are identified in the Property Acquisition Agreements as consisting of three parts, which are referred to in the Property Acquisition Agreements as Parts "A," "B," and "C," respectively, and shall be referred to herein by those same identifying labels; and

WHEREAS, it is the intent of the Parties to this Agreement that this Agreement will not in any way amend the Prior Easements or the Property Acquisition Agreements; and

WHEREAS, PXP has installed a twelve inch (12") gas pipeline in the southerly portion of Part B of the Prior Easements, as depicted on Drawing No. 4338-A-201, attached hereto as Exhibit "C" (the "Pipeline"); and

WHEREAS, Chevron and COUNTY have entered into that certain Partial Surrender and Agreement dated April 10, 1984 and recorded July 11, 1984 as Document No. 84-823822 in Official Records of Los Angeles County, California (the "Partial Surrender and Agreement"), wherein COUNTY acknowledged the Prior Easements, wherein Chevron surrendered its right to use portions of the surface of the lands subject to the BC Lease, reserving unto itself certain additional easements, and wherein COUNTY agreed to assume certain obligations with respect to the subject lands and the costs of relocating Chevron facilities; and

WHEREAS, COUNTY, as agent for the State of California, the owner of the real property subject to the above-referenced Prior Easements, proposes to construct a walking trail, and other improvements (the "COUNTY's Improvements") that will be placed in the Prior Easements along the Kenneth Hahn State Park Area Ridgeline, more particularly described in those certain drawings provided to PXP on July 11, 2011 and prepared by COUNTY's consultant Nuvis Landscape Architecture and Planning, the current, as amended July 26, 2012, versions of which are



attached hereto and incorporated herein as Exhibit "D"; and

WHEREAS, that portion of the Prior Easements to be jointly and non-exclusively occupied by the COUNTY's Improvements is hereafter referred to as the "Area of Common Use."

NOW, THEREFORE, for good and valuable consideration, the receipt and sufficiency of which each party hereby acknowledges, Baldwin, PXP and COUNTY agree as follows:

1. The above Recitals are true.

2. Baldwin and PXP consent to the construction, reconstruction, maintenance and use by COUNTY of the COUNTY's Improvements reflected and contained on Exhibit "D" hereto, but only those COUNTY Improvements, and no others, along, upon and within the Prior Easements in the Area of Common Use, subject to the terms and conditions herein contained and those stated in the Partial Surrender and Agreement, Prior Easements, and Property Acquisition Agreements. Baldwin and PXP do not by this consent, and shall not be deemed by this Agreement, to modify, alter, reduce, subordinate or condition all or any portion of its or their rights in the Area of Common Use pursuant to the Partial Surrender and Agreement, Prior Easements, and/or Property Acquisition Agreements (including, but not limited to, the right to construct, reconstruct, maintain, or use one or more pipelines, or use the Prior Easements for any purposes therein specified, including ingress and egress as provided in the Prior Easements) to any other use which COUNTY shall make of said Area.

A. In the event that Baldwin's or PXP's future uses and occupation of the areas covered by the Prior Easements involves the pavement of those areas or any other improvements installed for purposes of its or their rights under the Prior Easements, County will, at its sole expense, and as necessary to fully comply with then applicable law, move, remove, redesign, relocate, or otherwise alter its County Improvements so as to



facilitate and not interfere with Baldwin's and/or PXP's improvements and uses.

B. In the event Baldwin or PXP installs any additional or replacement improvements in the Area of Common Use pursuant to its or their rights under the Prior Easements, said improvements shall be deemed to be installed and operated under the terms of the Prior Easements, and Baldwin's and PXP's rights with respect to same shall take precedence over any rights granted to the County pursuant to this Agreement.

3. This Agreement shall not in any way alter, modify or terminate any provision of, or rights created by, the Prior Easements or the Acquisition Agreements. COUNTY shall use said Area of Common Use in such a manner so as not to interfere unreasonably with the rights of Baldwin and PXP, or either of them. Nothing herein contained shall be construed as a release or waiver of any claim for compensation or damages which Baldwin or PXP may now have or may hereafter acquire resulting from the construction, alteration or maintenance of any of COUNTY's Improvements, or of any claim for lawful compensation as a result of the condemnation of the Prior Easements by County, the State of California, any Joint Powers Authority to which it or they are a party, or any other entity exercising its eminent domain powers.

4. COUNTY, and its employees, representatives, agents, and contractors shall comply with the following restrictions regarding change of grade:

A. No permanent change in grade or elevation will be allowed in the Area of Common Use that results in Part B of the easements in which the existing pipeline is located having less than three (3) feet of cover or in excess of a maximum of seven (7) feet of cover. Temporary grade changes that fall below the required three feet minimum cover will be allowed to accommodate construction or soil preparation, provided the structural integrity of the Pipeline is not compromised and Baldwin and PXP are notified 48 hours in advance of such excavations; and



B. No permanent change in grade of elevation will be allowed in the Area of Common Use that would prevent, hinder or interfere with any rights reserved to Baldwin or PXP by the Prior Easements or the Acquisition Agreements, including, without limitation, the right to use the Prior Easements for purposes of road or street ingress and egress.

5. COUNTY, and its employees, representatives, agents, and contractors hereby insure and covenant to Baldwin and PXP that if the soil on Part A in the Area of Common Use (for road purposes) is excavated or graded in any manner in connection with COUNTY's installation or use of any of the County Improvements, it shall thereafter promptly be compacted to withstand vehicular traffic for vehicles weighing up to 50,000 lbs.

6. COUNTY, and its employees, representative, agents, and contractors hereby insure that no landscaping shall be placed in Part A of the Area of Common Use so as to interfere with or block existing or future levels and types of vehicular traffic permitted under the Prior Easements.

A. In no event shall any trees or other obstructive plantings be placed in Part A of such Area.

B. Baldwin and PXP agree that COUNTY may install such plants as it desires in the Area of Common Use. However, in the event that Baldwin or PXP needs to excavate the ground in Part B of the Prior Easements to perform maintenance, repair, modification, or replacement of the Pipeline, or to install new or additional pipelines or other facilities, or in any way to exercise any rights reserved to it or them under the Prior Easements or Property Acquisition Agreements, Baldwin and/or PXP may remove COUNTY's plantings and landscaping within Part B and neither Baldwin nor PXP shall be required to restore or replace said removed or damaged plantings or landscaping, except that, to the extent not inconsistent with its or their uses under the Prior Easements, Baldwin and/or PXP shall return the Area of Common Use to the same grade and slope as existed prior to the excavation.



C. COUNTY shall bear the full cost of any replanting or other restoration of such affected areas as it may desire to perform; provided, however, that neither Baldwin nor PXP shall be liable to COUNTY for any damages to COUNTY's grading, plantings and landscaping.

7. COUNTY agrees that it will not install any hardscape, fence, fixtures, signs, benches, drinking fountains, railings, sculptures, parking facilities, exercise areas, structures, bathroom facilities, or any other permanent fixtures within the Area of Common Use.

8. In the event that the COUNTY's Improvements interfere with Baldwin's or PXP's current or future use, operation or maintenance of any easements, pipelines, improvements, or other facilities reserved to it or them by the Prior Easements and/or the Property Acquisition Agreements, COUNTY agrees to promptly remove the interfering COUNTY's Improvements at its sole cost and expense.

9. In the event that the future use or alteration of the Area of Common Use by COUNTY herein permitted shall at any time or times necessitate the rearrangement, relocation or reconstruction of any of Baldwin's or PXP's facilities, the same shall be performed by Baldwin and/or PXP, or by any other party with the consent of Baldwin and/or PXP, at the sole cost and expense of COUNTY, which expense shall be the actual cost of such work plus documented and reasonable fair-market compensation for general and administrative expenses incurred in connection therewith, not to exceed fifteen percent (15%) of the actual cost to compensate PXP and/or Baldwin for general and administrative expenses incurred in connection therewith.

A. Except for work performed by a contractor or subcontractor regularly used by Baldwin and/or PXP for similar work on the adjacent oil field, any third-party contractor shall be approved by COUNTY, such approval not to be unreasonably withheld or delayed.



B. If COUNTY does not object to the designated third-party contractor within ten (10) days of receipt of any written request to approve such third-party contractor, then such approval shall be deemed to have been given by COUNTY.

10. In the event that the future use or alteration of the Area of Common Use by Baldwin and/or PXP shall at any time or times necessitate a rearrangement, relocation or reconstruction of COUNTY's Improvements in order for Baldwin and/or PXP to exercise any or all of its or their rights under the Prior Easements and/or the Property Acquisition Agreements, the same shall be performed at the sole cost and expense of COUNTY.

A. Except in exigent circumstances, PXP and/or Baldwin shall provide written notice to COUNTY of the rearrangement, relocation or reconstruction needed at least ten (10) days prior to the commencement of any such work, and COUNTY shall have the first opportunity to make or directly contract for such work.

B. If COUNTY does not respond within ten (10) days of its receipt of said written notice, then PXP and/or Baldwin may proceed with the work using its or their contractors, and COUNTY shall reimburse PXP and/or Baldwin for the actual cost and reasonable fair-market compensation for general and administrative expenses incurred in connection therewith, not to exceed fifteen percent (15%) of the actual cost to compensate PXP and/or Baldwin for general and administrative expenses incurred in connection therewith.

C. COUNTY shall reimburse Baldwin and PXP for all such costs within thirty (30) days of receipt of invoice from Baldwin and/or PXP, whichever is applicable.

11. Baldwin and PXP, each in their individual sole discretion, retain the right to review and approve prior to their installation the specific locations of all of COUNTY's Improvements within the Prior Easements to avoid conflict with existing and any future uses, improvements, and facilities by and of Baldwin and/or PXP. No such COUNTY Improvements shall be installed without Baldwin's



and PXP's prior written consent, such consent not to be unreasonably withheld or delayed.

12. At least five (5) business days prior to any construction within the Area of Common Use of the Prior Easements, COUNTY (including its contractor(s) or subcontractors) shall verify in writing to Baldwin and PXP the depth and location, via the potholing method, of all existing gas pipelines within the Area of Common Use. Said notice of verification shall be sent to the addresses listed above for the Parties.

13. COUNTY's Improvements consisting of pipelines, if any, shall be installed above or below PXP's pipelines with a minimum of one (1) foot vertical clearance.

14. Prior to any work within the Area of Common Use, COUNTY shall comply with all notification requirements in accordance with Government Code Section 4216, *et seq.* and, in addition, shall contact PXP's Superintendent of Operations, Jim Bowen, telephone number (323) 298-2274 and Baldwin's President, Jon Spanier, telephone number (914) 533-5373, or their respective successors, at least forty-eight (48) hours in advance of any proposed work pursuant to this Agreement on the Prior Easements.

15. COUNTY (including its contractors and subcontractors) shall indemnify, defend (with counsel reasonably satisfactory to the indemnitees) and hold harmless Baldwin, PXP and Chevron, and each of them, and their respective officers, agents and employees, successors, and assigns, from and against any and all claims, expenses (including court costs and reasonable attorney's fees) demands, liabilities, losses, or causes of action of whatsoever nature or character, for injury, illness or death or loss of, damage to or destruction of property which arise out of this Agreement or the COUNTY's Improvements, excepting only those claims, demands, liabilities, losses, or causes of action arising solely from the act or omission of Baldwin, PXP or Chevron, or their respective officers, agents and employees on or after the date of this Agreement. The provisions of this Paragraph 15 shall survive the termination of this Agreement.



16. COUNTY hereby reaffirms its acceptance of the condition of the subject land and assumption of all responsibility for any conditions on or within the subject land, as provided in that certain Partial Surrender and Agreement dated April 10, 1984, recorded July 11, 1984 as Document No. 84-823822, Official Records of Los Angeles County.

A. COUNTY further acknowledges and accepts the State of California's acceptance of the condition of the subject land pursuant to Paragraph 9 of each of the Property Acquisition Agreements.

B. The provisions of this Paragraph 16 will survive any termination of this Agreement.

17. This Agreement and each covenant, term and condition contained herein, is intended to run with the land and inure to the benefit of and be binding upon the successors and assigns of the Parties.

18. COUNTY shall keep the Prior Easements free from all liens, taxes and assessments levied or assessed resulting or caused by the COUNTY's Improvements, and COUNTY shall indemnify, defend, and reimburse Baldwin and/or PXP for all sums necessarily paid by Baldwin and/or PXP to protect title to their Prior Easements against any such lien, tax or assessment.

19. COUNTY hereby recognizes the title and interest of Baldwin and PXP in and to the Prior Easements, and by such recognition agrees that it shall be estopped from assailing, resisting or otherwise challenging Baldwin or Chevron's or PXP's right, title or interest therein, for any cause, reason or event having arisen prior to the date of this Agreement, or at any time by any cause, reason or event resulting from the COUNTY'S exercise of the rights granted herein.

20. The Parties hereto, and each of them, shall comply with all state, federal and local laws and with the rules, regulations and orders of any federal, state or other governmental agency having jurisdiction over the lands subject to the Prior Easements with respect to each



party's operations thereon, and if there be any conflict between the same and provisions of this Agreement, such laws, rules, regulations and orders shall modify or supersede, as the case may be, the relevant provisions of this Agreement; provided, however, that nothing herein shall be interpreted to waive or reduce the rights of any of the Parties to context the validity or applicability of such laws.

21. Each Party hereby represents and warrants to the other Parties that the individual executing this Agreement on behalf of each Party is duly authorized to execute and deliver agreements on behalf of the respective Party and that the Agreement is binding upon each party in accordance with its terms.

22. Nothing in this Agreement shall alter, modify or otherwise change the terms or respective rights and obligations of Chevron or Baldwin under the BC Lease. Nothing in this Agreement shall alter, modify or otherwise change any of the terms of, or the respective rights and obligations of any of the Parties under the Property Acquisition Agreements. Nothing in this Agreement shall alter, modify or otherwise change the terms or respective rights and obligations under the Property Acquisition Agreements or the Prior Easements.

23. The Operating Agreement has been extended to the 1<sup>st</sup> day of May, 2020 and was recorded on March 8, 2012 as Document No. 20120368017, Official Records of Los Angeles County, California.

24. This Agreement shall be governed by and construed in accordance with the laws of the State of California.

25. This Agreement may be amended or modified only by a writing executed by all the Parties.

/ / /

/ / /

/ / /



26. This Agreement may be executed in multiple counterparts, each of which taken together shall constitute one agreement.

IN WITNESS WHEREOF, the Parties have caused this Agreement to be executed in triplicate by their respective duly authorized officials as of the year and date first written above.

BALDWIN STOCKER, LLC

By \_\_\_\_\_  
Jonathan G. Spanier  
President

PLAINS EXPLORATION & PRODUCTION COMPANY

By: \_\_\_\_\_  
James R. Rumsey  
Vice President, Land Development

COUNTY OF LOS ANGELES, a body corporate and politic

By: \_\_\_\_\_  
William T Fujioka  
Chief Executive Officer

APPROVED AS TO FORM

\_\_\_\_\_  
By \_\_\_\_\_  
\_\_\_\_\_  
Deputy County Counsel for the County of Los Angeles



ALL PURPOSE ACKNOWLEDGMENT

STATE OF CALIFORNIA }

}ss

COUNTY OF }

On \_\_\_\_\_, 200\_\_\_\_ before me,  
\_\_\_\_\_, a Notary Public,  
personally appeared \_\_\_\_\_,  
who proved to me on the basis of satisfactory evidence  
to be the person(s) whose name(s) is/are subscribed to  
the within instrument and acknowledged to me that  
he/she/they executed the same in his/her/their authorized  
capacity(ties), and that by his/her/their signature(s) on  
the instrument the person(s), or the entity upon behalf  
of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the  
State of California that the foregoing paragraph is true  
and correct.

WITNESS my hand and official seal.

\_\_\_\_\_



ALL-PURPOSE ACKNOWLEDGMENT  
STATE OF CALIFORNIA    }  
                  }ss  
COUNTY OF            }

On \_\_\_\_\_, 200\_\_\_\_ before me,  
\_\_\_\_\_, a Notary Public,  
personally appeared \_\_\_\_\_,  
who proved to me on the basis of satisfactory evidence  
to be the person(s) whose name(s) is/are subscribed to  
the within instrument and acknowledged to me that  
he/she/they executed the same in his/her/their authorized  
capacity(ies), and that by his/her/their signature(s) on  
the instrument the person(s), or the entity upon behalf  
of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the  
State of California that the foregoing paragraph is true  
and correct.

WITNESS my hand and official seal.

\_\_\_\_\_



ALL-PURPOSE ACKNOWLEDGMENT  
STATE OF CALIFORNIA   }  
                  }ss  
COUNTY OF            }

On \_\_\_\_\_, 200\_\_\_\_ before me,  
\_\_\_\_\_, a Notary Public,  
personally appeared \_\_\_\_\_,  
who proved to me on the basis of satisfactory evidence  
to be the person(s) whose name(s) is/are subscribed to  
the within instrument and acknowledged to me that  
he/she/they executed the same in his/her/their authorized  
capacity(ies), and that by his/her/their signature(s) on  
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of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the  
State of California that the foregoing paragraph is true  
and correct.

WITNESS my hand and official seal.



Comparison Details	
Title	<b>pdfDocs compareDocs Comparison Results</b>
Date & Time	1/8/2013 11:15:56 AM
Comparison Time	2.78 seconds
compareDocs version	v3.4.11.2

Sources	
Original Document	[#826457] [v1] county's 11/14/12 "final" consent agreement.docxDMS Information
Modified Document	[#827976] [v1] dao 1/8 draft consent agreement.docxDMS information

Comparison Statistics	
Insertions	94
Deletions	17
Changes	29
Moves	0
TOTAL CHANGES	140

Word Rendering Set Markup Options	
Name	Standard
<u>Insertions</u>	
<del>Deletions</del>	
<u>Moves</u> / Moves	
Inserted cells	
Deleted cells	
Merged cells	
Formatting	Color only.
Changed lines	Mark left border.
Comments color	ByAuthorcolor options]
Balloons	False

compareDocs Settings Used	Category	Option Selected
Open Comparison Report after Saving	General	Always
Report Type	Word	Track Changes
Character Level	Word	False
Include Headers / Footers	Word	True
Include Footnotes / Endnotes	Word	True
Include List Numbers	Word	True
Include Tables	Word	True
Include Field Codes	Word	True
Include Moves	Word	False
Show Track Changes Toolbar	Word	True
Show Reviewing Pane	Word	False
Update Automatic Links at Open	Word	False
Summary Report	Word	End
Include Change Detail Report	Word	Separate
Document View	Word	Print
Remove Personal Information	Word	False



KENNETH HAHN EASTERN RIDGELINE  
4100 LA CIENEGA BOULEVARD,  
LOS ANGELES, CA 90056  
PROJECT ID NO. P200000655  
C.P. 69253, SPEC. NO. 7188

PROPERTY ADDRESS: 4100 LA CIENEGA BOULEVARD  
BALDWIN HILLS, CA 90056

PROPERTY OWNER: STATE OF CALIFORNIA

**SITE OPERATED & MAINTAINED BY:**

COUNTY OF LOS ANGELES DEPARTMENT OF PUBLIC WORKS  
DEPARTMENT OF PARKS AND RECREATION  
433 S. VERNON AVENUE  
LOS ANGELES, CA 90020

ASSESSORS ID NO.: 5029-020-904

PROPERTY ZONING: A-2

INTENDED LAND USE: PL

INTENDED LAND USE: PUBLIC PARK

LEGAL DESCRIPTION: THAT PORTION OF THE RANCHO CIENEGA O' PASO DE LA TIJERA, LOS ANGELES, STATE OF CALIFORNIA, AS SHOWN ON MAP RECORDED IN B PATENTS IN THE OFFICE OF THE REGISTRAR-RECORDER OF SAID COUNTY

**WATER PURVEYOR**  
**LOS ANGELES DEPARTMENT OF WATER AND POWER**  
**111 SOUTH HOPE STREET,**  
**LOS ANGELES, CA 90012**  
**(213) 367-3470**

FUEL MODIFICATION PLAN IS NOT  
REQUIRED PER MANNY MOSHREFI  
EAST REGION GLENDORA  
STATION #151  
231 W. MOUNTAIN VIEW AVE.  
GLENDORA, CA 91741  
626-963-5564

**SOIL NOTE:**  
THE EXISTING SOIL IS NOT SUITABLE FOR THE TYPE OF PLANTING DESIGNED FOR THE KENNETH HAHN EASTERN RIDGELINE.  
THE EXISTING AND IMPORTED SOILS SHALL BE TESTED IN ORDER TO GENERATE THE SOILS MANAGEMENT REPORT. ONCE OBTAINED, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO SUBMIT THE SOILS MANAGEMENT REPORT TO THE LAND DEVELOPMENT DIVISION FOR FINAL SOIL TYPE APPROVAL. THE APPROVED LANDSCAPE PLANS ARE TO BE REVISED AND RESUBMITTED TO LAND DEVELOPMENT DIVISION TO INCORPORATE ANY MITIGATIONS REQUIRED PER THE SOILS MANAGEMENT REPORT PRIOR TO THE START OF LANDSCAPE CONSTRUCTION.

**SOIL REPORT NOTE:**  
**PROPOSE ON AMENDMENTS AS STATED IN THE SPECIFICATIONS.**  
**CONTRACTOR SHALL PAY FOR AND OBTAIN AGRICULTURAL SOILS AND**  
**HERBICIDE TESTING AND RECOMMENDATIONS AFTER GRADING OPERATIONS**  
**AND PRIOR TO PLANT INSTALLATION. IN ADDITION, CONTRACTOR SHALL**  
**REFER TO SECTION 02900 - PLANTING SPECIFICATIONS, PART 1 - GENERAL,**  
**ARTICLE 1.02 SUBMITTALS FOR ADDITIONAL INFORMATION.**



Know what's below.  
Call before you dig.



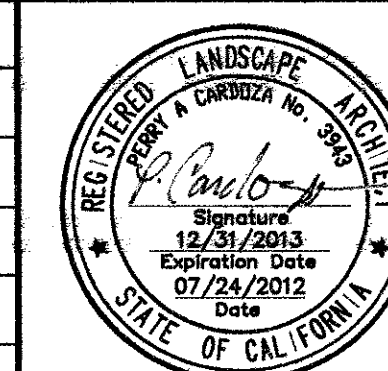
**NUVIS**  
LANDSCAPE ARCHITECTURE  
AND PLANNING

**SIGNATURE BLOCK:**

SUBMITTED: \_\_\_\_\_  
GUILLERMO NAJAR COUNTY OF LOS ANGELES  
DEPARTMENT OF PARKS AND RECREATION  
433 S. VERNON AVENUE LOS ANGELES, CA 90020

SUBMITTED: RANDALL SANCHO COUNTY OF LOS ANGELES DEPARTMENT OF PUBLIC WORKS  
DEPARTMENT OF BUILDING AND SAFETY

DATE	MK	DESCRIPTION
<b>REVISIONS</b>		



PROJECT LANDSCAPE ARCHITECT DATE

COUNTY OF LOS ANGELES DEPARTMENT OF PUBLIC WORKS

**KENNETH HAHN EASTERN RIDGELINE**  
4100 LA CIENEGA BOULEVARD, LOS ANGELES, CA 90056

TITLE SHEET (INCLUSIVE OF ALL DISCIPLINES)

LS1112200001

\_CV

DATE	SPEC. NO. 7188	C.P. NO. 69253	P200000655
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SHEET 1 OF 46

LCV	TITLE SHEET
C-1.1	EXISTING SITE
C-1.2	EXISTING SITE
C-2.1	SITE LAYOUT
C-2.2	SITE LAYOUT
C-2.3	SITE LAYOUT
C-2.4	SITE LAYOUT
C-3.0	GRADING TITLE SHEET
C-3.1	GRADING NOTES
C-3.2	SITE GRADING
C-3.3	SITE GRADING
C-3.4	SITE GRADING
C-3.5	SITE GRADING
C-3.6	SITE GRADING DETAILS
C-4.1	SITE UTILITY
C-4.2	SITE UTILITY DETAILS
C-5.1	SIGNING AND STRIPING
LCV-A	LANDSCAPE TITLE SHEET
L-01	CONSTRUCTION PLAN - SHEET A
L-02	CONSTRUCTION PLAN - SHEET B
L-03	CONSTRUCTION PLAN - SHEET C
L-04	CONSTRUCTION PLAN - SHEET D
L-05	CONSTRUCTION DETAILS
L-06	CONSTRUCTION DETAILS
L-07	CONSTRUCTION DETAILS
L-08	CONSTRUCTION DETAILS
L-09	IRRIGATION PLAN - SHEET A
L-10	IRRIGATION PLAN - SHEET B
L-11	IRRIGATION PLAN - SHEET B
L-12	IRRIGATION PLAN - SHEET D
L-13	IRRIGATION LEGEND & NOTES
L-14	IRRIGATION DETAILS
L-15	IRRIGATION DETAILS
L-16	IRRIGATION WATER CALCULATIONS
L-17	IRRIGATION WATER SCHEDULES FOR ESTABLISHMENT
L-18	IRRIGATION WATER SCHEDULES AFTER ESTABLISHMENT
L-19	PLANTING PLAN - SHEET A
L-20	PLANTING PLAN - SHEET B
L-21	PLANTING PLAN - SHEET C
L-22	PLANTING PLAN - SHEET D
L-23	PLANT LIST
L-24	PLANTING NOTES & DETAILS
I-8	ORIGINAL LANDSCAPE IRRIGATION AND LAKE IMPROVEMENTS - REFERENCE ONLY
I-9	ORIGINAL LANDSCAPE IRRIGATION AND LAKE IMPROVEMENTS - REFERENCE ONLY

**ADD ALTERNATE SHEETS**

1 CIVIL - CURB RAMP STREET IMPROVEMENTS  
T.S. 445-R12 CIVIL - SIGNAL MODIFICATIONS

## PROJECT PARTICIPANTS

LANDSCAPE ARCHITECT - TOM MUNOZ  
NUVIS

NOVIS  
3151 AIRWAY AVE, SUITE J-3  
COSTA MESA, CA 92626  
(714) 754-7311

CIVIL ENGINEER - DAVID GRANTHAM  
CIVIL WORKS ENGINEERS, INC.  
3151 AIRWAY AVE, SUITE T-1  
COSTA MESA, CA 92626  
(714) 966-9060

**IRRIGATION - JANET LUEHRS**  
**BROOKWATER**  
**FIVE CROW CANYON COURT, SUITE 209**  
**SAN RAMON, CA 94583**  
**(925) 855-0357**

25,830 S.F. - TOTAL SPECIAL LANDSCAPE AREA W/ MODIFIED IRRIGATION  
140,905 S.F. - TOTAL LANDSCAPE AREA W/ IRRIGATION  
18,850 S.F. - TOTAL LANDSCAPE AREA W/ TEMPORARY IRRIGATION



SOIL CONTAMINATION STUDY

1. ASSESSMENTS OF THE UPPER 2 FEET OF SOIL HAS BEEN COMPLETED TO EVALUATE THE CHEMICAL IMPACTS AND NEED FOR A SOIL MANAGEMENT PLAN DURING GRADING AND CONSTRUCTION ACTIVITIES. THE ASSESSMENTS RESULTS ARE DOCUMENTED IN THE FOLLOWING REPORTS:
- PRELIMINARY ENDANGERMENT ASSESSMENT (PEA), DEPT OF TOXIC SUBSTANCES CONTROL (DTSC), JULY 2005, DTSC SIDE CODE 301223-11.
  - SUPPLEMENTAL SITE INVESTIGATION (SSI), URS (UNDER DIRECTION OF DTSC), FEB 2012
- CONTRACTOR SHALL IMPLEMENT RECOMMENDATIONS AND REQUIREMENTS OF THESE STUDIES.

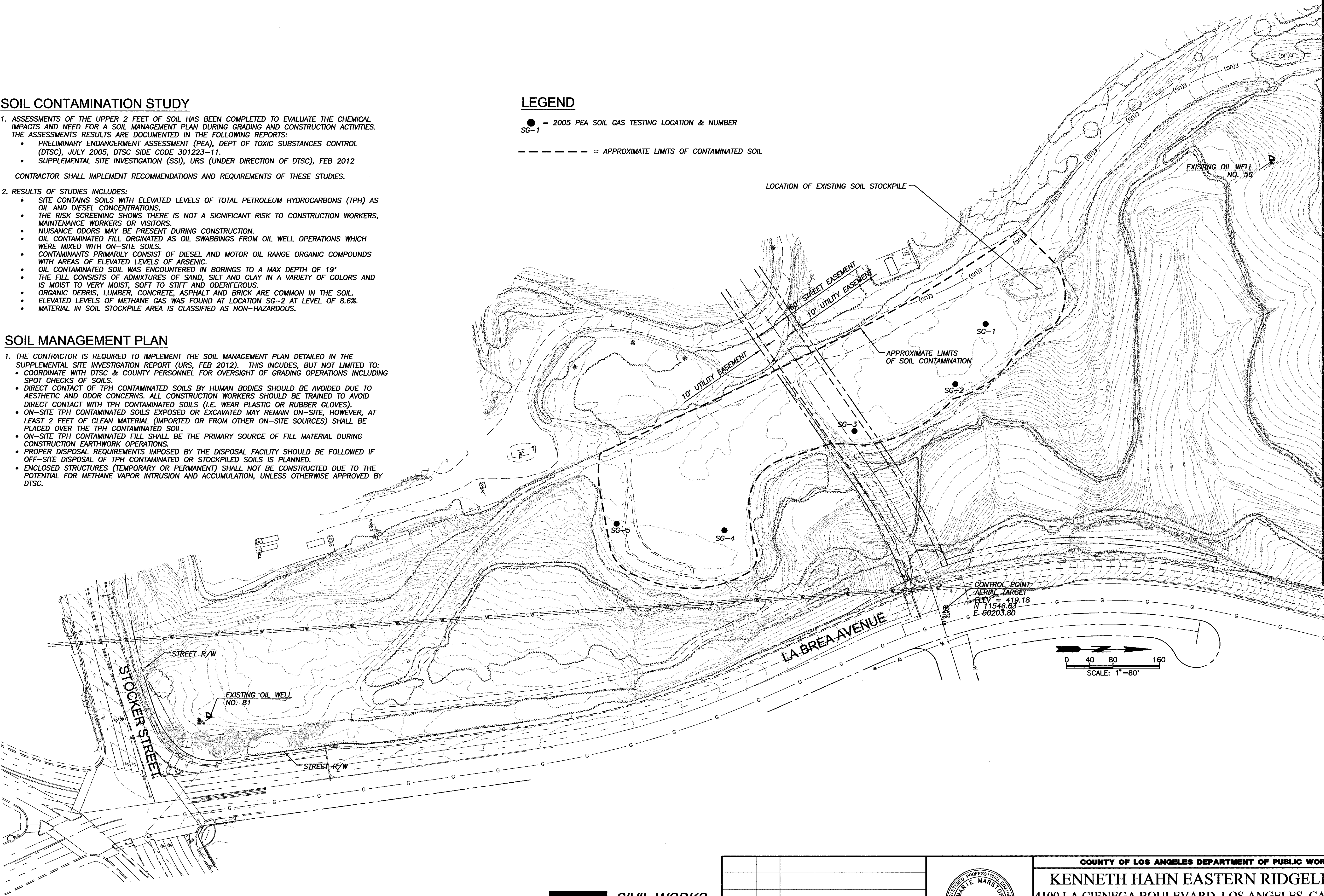
2. RESULTS OF STUDIES INCLUDES:
- SITE CONTAINS SOILS WITH ELEVATED LEVELS OF TOTAL PETROLEUM HYDROCARBONS (TPH) AS OIL AND DIESEL CONCENTRATIONS.
  - THE RISK SCREENING SHOWS THERE IS NOT A SIGNIFICANT RISK TO CONSTRUCTION WORKERS, MAINTENANCE WORKERS OR VISITORS.
  - NUISANCE ODORS MAY BE PRESENT DURING CONSTRUCTION.
  - OIL CONTAMINATED FILL ORIGINATED AS OIL SWABBINGS FROM OIL WELL OPERATIONS WHICH WERE MIXED WITH ON-SITE SOILS.
  - CONTAMINANTS PRIMARILY CONSIST OF DIESEL AND MOTOR OIL RANGE ORGANIC COMPOUNDS WITH AREAS OF ELEVATED LEVELS OF ARSENIC.
  - OIL CONTAMINATED SOIL WAS ENCOUNTERED IN BORINGS TO A MAX DEPTH OF 19'.
  - THE FILL CONSISTS OF ADMIXTURES OF SAND, SILT AND CLAY IN A VARIETY OF COLORS AND IS MOIST TO VERY MOIST, SOFT TO STIFF AND ODERIFEROUS.
  - ORGANIC DEBRIS, LUMBER, CONCRETE, ASPHALT AND BRICK ARE COMMON IN THE SOIL.
  - ELEVATED LEVELS OF METHANE GAS WAS FOUND AT LOCATION SG-2 AT LEVEL OF 8.6%.
  - MATERIAL IN SOIL STOCKPILE AREA IS CLASSIFIED AS NON-HAZARDOUS.

SOIL MANAGEMENT PLAN

1. THE CONTRACTOR IS REQUIRED TO IMPLEMENT THE SOIL MANAGEMENT PLAN DETAILED IN THE SUPPLEMENTAL SITE INVESTIGATION REPORT (URS, FEB 2012). THIS INCLUDES, BUT NOT LIMITED TO:
- COORDINATE WITH DTSC & COUNTY PERSONNEL FOR OVERSIGHT OF GRADING OPERATIONS INCLUDING SPOT CHECKS OF SOILS.
  - DIRECT CONTACT OF TPH CONTAMINATED SOILS BY HUMAN BODIES SHOULD BE AVOIDED DUE TO AESTHETIC AND ODOR CONCERNS. ALL CONSTRUCTION WORKERS SHOULD BE TRAINED TO AVOID DIRECT CONTACT WITH TPH CONTAMINATED SOILS (I.E. WEAR PLASTIC OR RUBBER GLOVES).
  - ON-SITE TPH CONTAMINATED SOILS EXPOSED OR EXCAVATED MAY REMAIN ON-SITE, HOWEVER, AT LEAST 2 FEET OF CLEAN MATERIAL (IMPORTED OR FROM OTHER ON-SITE SOURCES) SHALL BE PLACED OVER THE TPH CONTAMINATED SOIL.
  - ON-SITE TPH CONTAMINATED FILL SHALL BE THE PRIMARY SOURCE OF FILL MATERIAL DURING CONSTRUCTION EARTHWORK OPERATIONS.
  - PROPER DISPOSAL REQUIREMENTS IMPOSED BY THE DISPOSAL FACILITY SHOULD BE FOLLOWED IF OFF-SITE DISPOSAL OF TPH CONTAMINATED OR STOCKPILED SOILS IS PLANNED.
  - ENCLOSED STRUCTURES (TEMPORARY OR PERMANENT) SHALL NOT BE CONSTRUCTED DUE TO THE POTENTIAL FOR METHANE VAPOR INTRUSION AND ACCUMULATION, UNLESS OTHERWISE APPROVED BY DTSC.

LEGEND

- = 2005 PEA SOIL GAS TESTING LOCATION & NUMBER  
SG-1
- - - - - = APPROXIMATE LIMITS OF CONTAMINATED SOIL



MATCHLINE - SEE SHEET C1.2

DATE  
REVIEWED BY  
CADD PROJECT FILE NAME  
CHECKER  
DESIGNER  
DRAFTER

**CIVIL WORKS**  
*Engineers, Inc.*  
3151 Airway Avenue, Suite T-1  
Costa Mesa, CA 92626  
(714) 966-9060

DATE	BY	DESCRIPTION
REVISIONS		

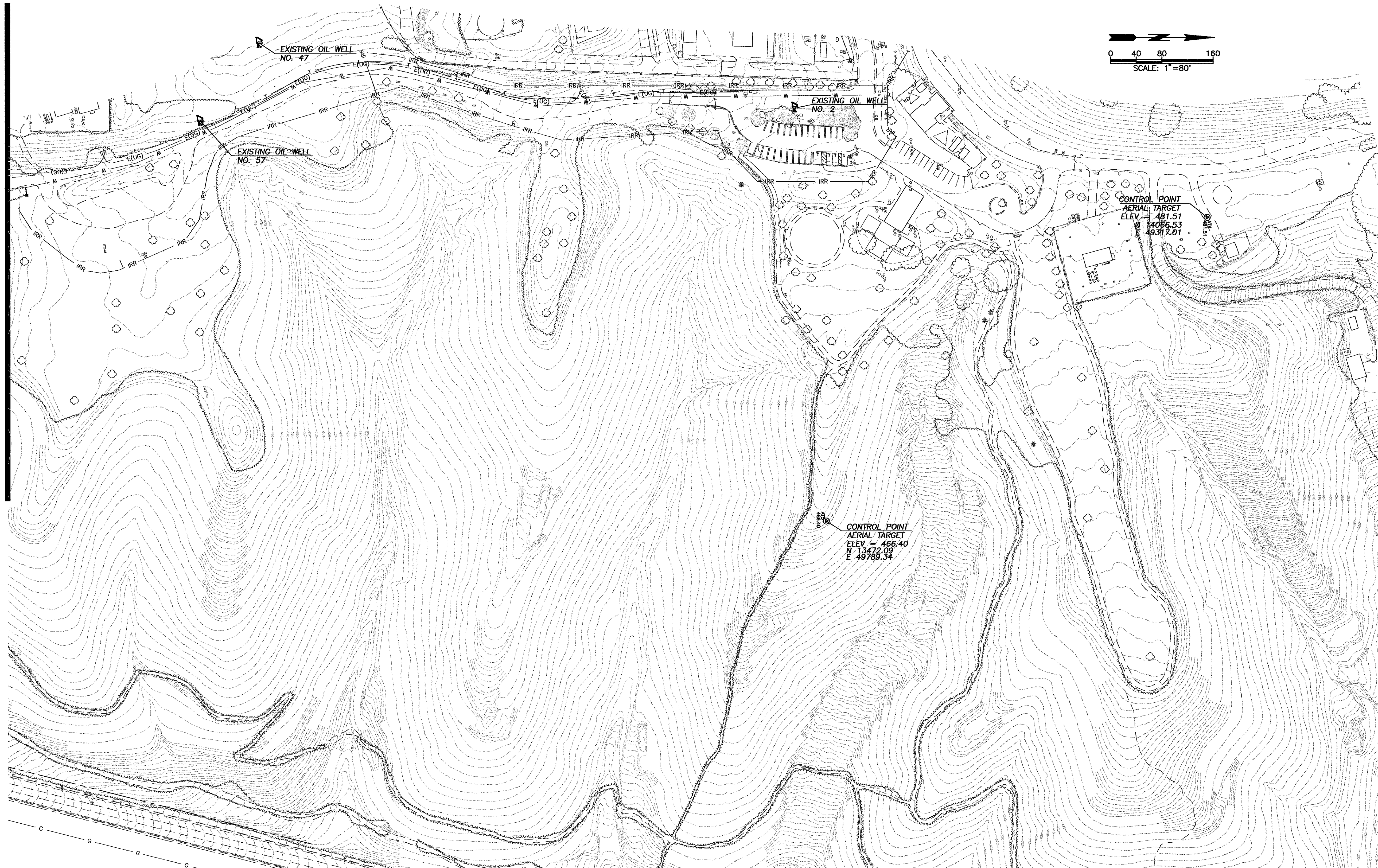


COUNTY OF LOS ANGELES DEPARTMENT OF PUBLIC WORKS			
KENNETH HAHN EASTERN RIDGELINE			
4100 LA CIENEGA BOULEVARD, LOS ANGELES, CA 90056			
EXISTING SITE CONDITIONS & SURVEY			
LS1112200001		C1.1	
SPEC. NO. 7188	C.P. NO. 69253	P200000655	SHEET 2 OF 46

DATE PRINTED: 7/24/12



MATCHLINE - SEE SHEET C1.1



DRAWN BY: \_\_\_\_\_ DATE: \_\_\_\_\_

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DESIGNED BY: \_\_\_\_\_

CADD PROJECT FILE NAME: \_\_\_\_\_

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**EXISTING SITE CONDITIONS & SURVEY**

LS1112200001 C1.2

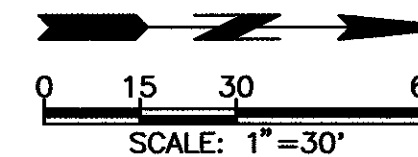
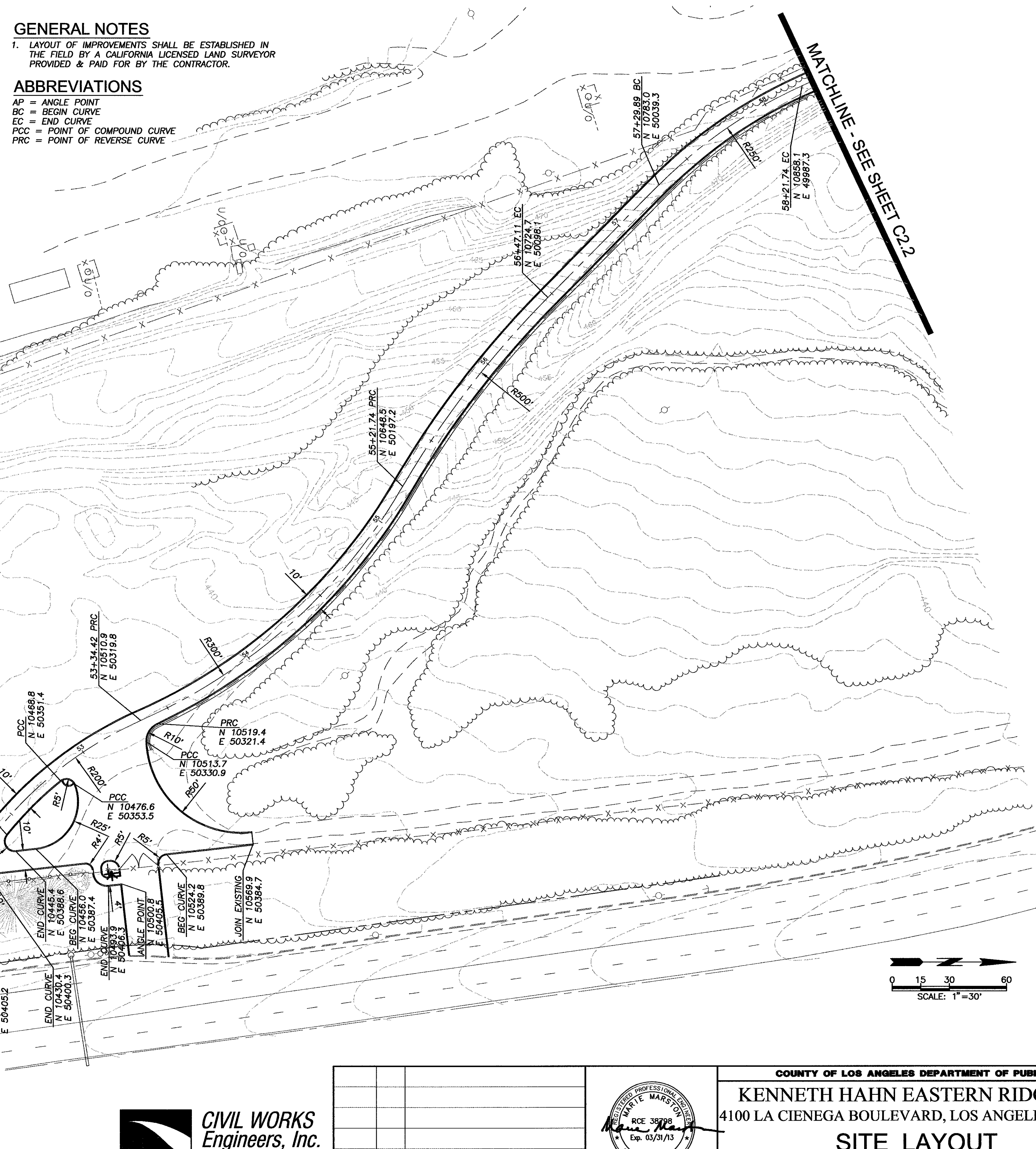
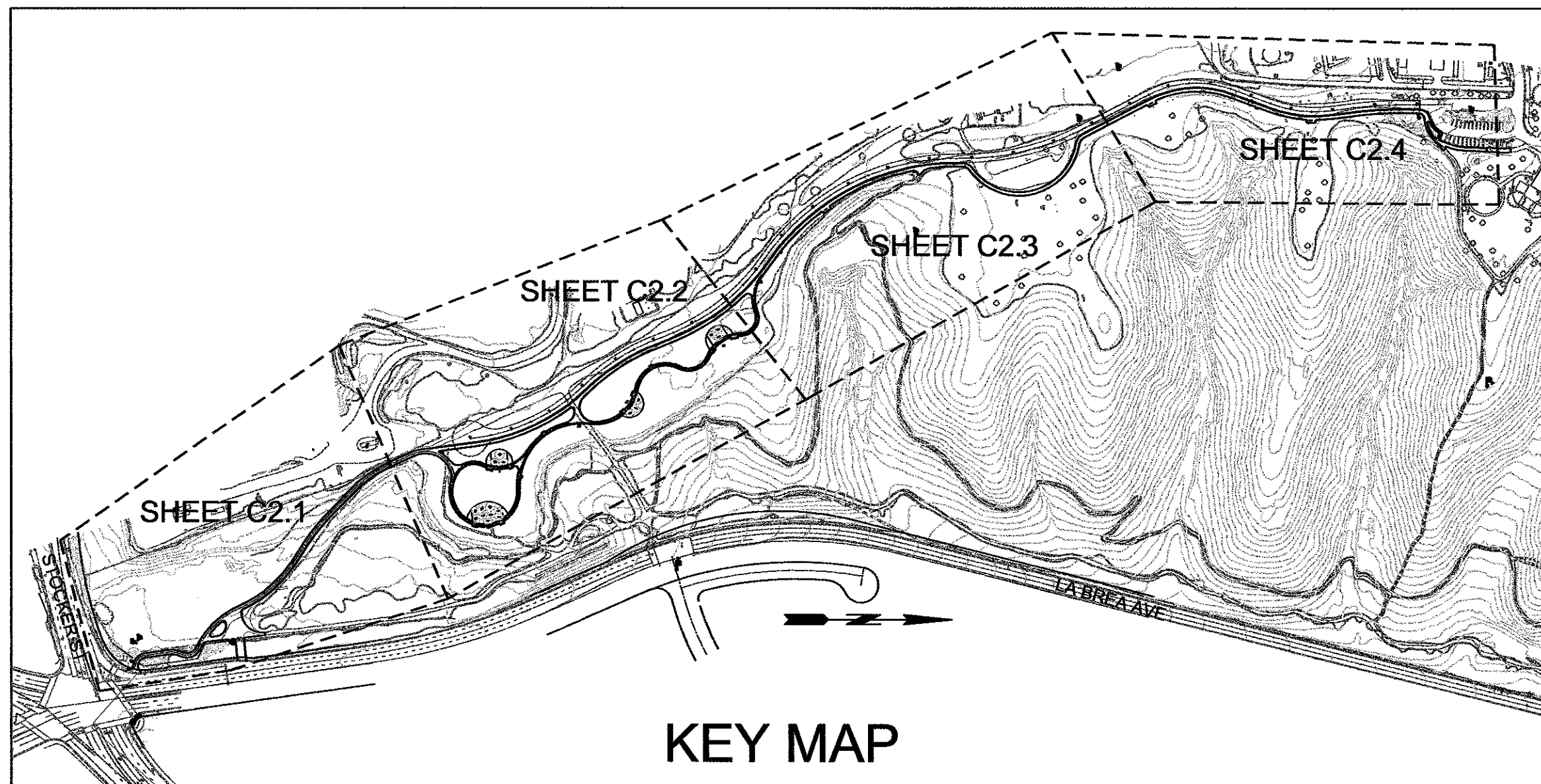
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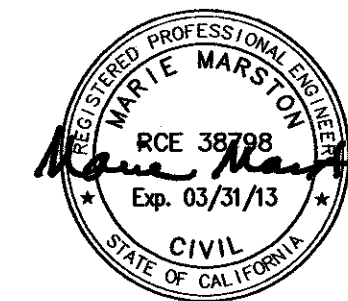


GENERAL NOTES  
1. LAYOUT OF IMPROVEMENTS SHALL BE ESTABLISHED IN THE FIELD BY A CALIFORNIA LICENSED LAND SURVEYOR PROVIDED & PAID FOR BY THE CONTRACTOR.

ABBREVIATIONS  
AP = ANGLE POINT  
BC = BEGIN CURVE  
EC = END CURVE  
PCC = POINT OF COMPOUND CURVE  
PRC = POINT OF REVERSE CURVE



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**SITE LAYOUT**  
LS1112200001  
C2.1

DATE	BY	DESCRIPTION
REVISIONS		

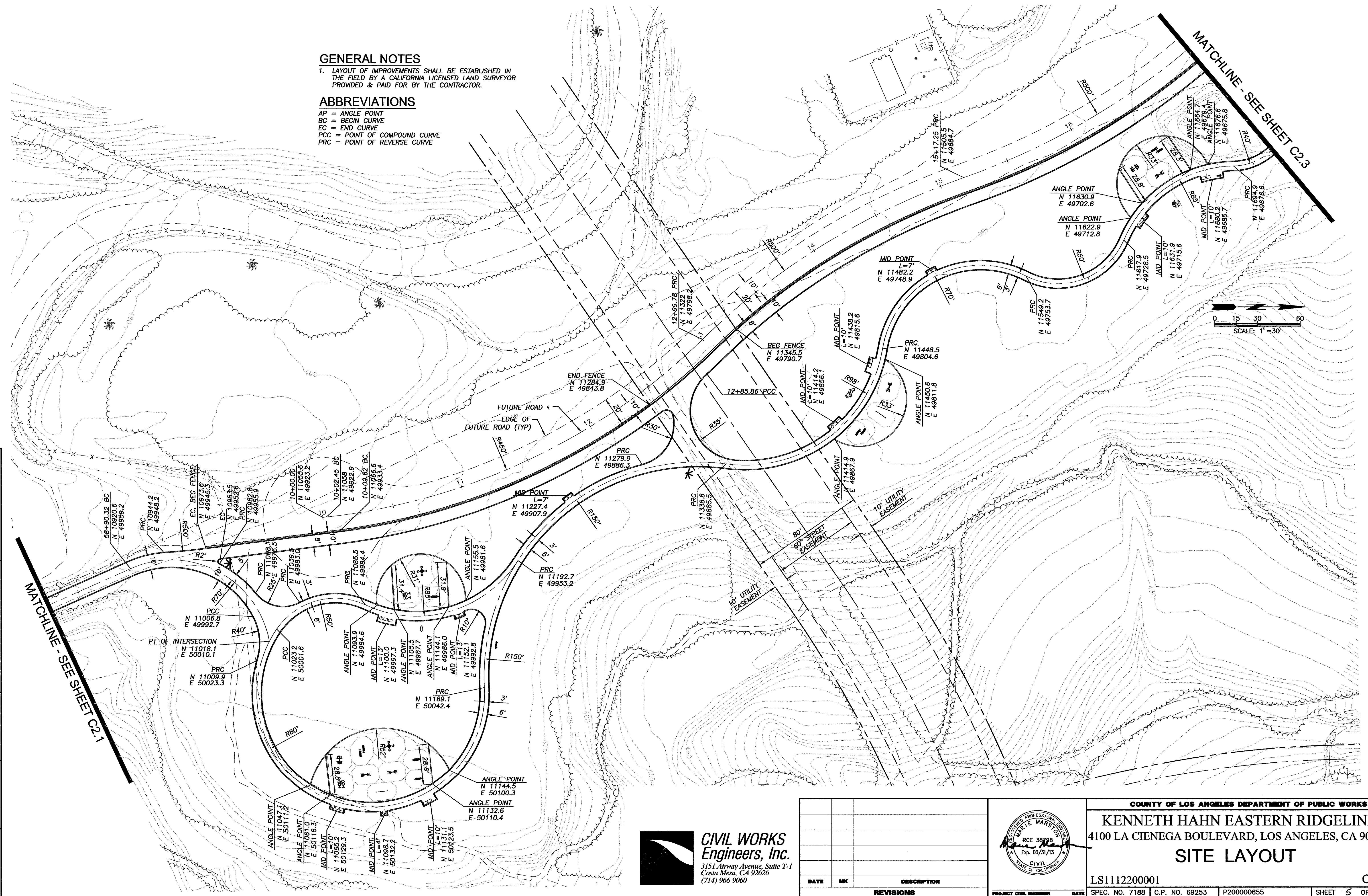
SPEC. NO. 7188 C.P. NO. 69253 P200000655 SHEET 4 OF 46

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**PROJECT CIVIL ENGINEERING**

**DATE**

**COUNTY OF LOS ANGELES DEPARTMENT OF PUBLIC WORKS**

**KENNETH HAHN EASTERN RIDGELINE**  
4100 LA CIENEGA BOULEVARD, LOS ANGELES, CA 90056

## SITE LAYOUT

LS1112200001

## C2.2

DATE	SPEC. NO. 7188	C.P. NO. 69253	P200000655
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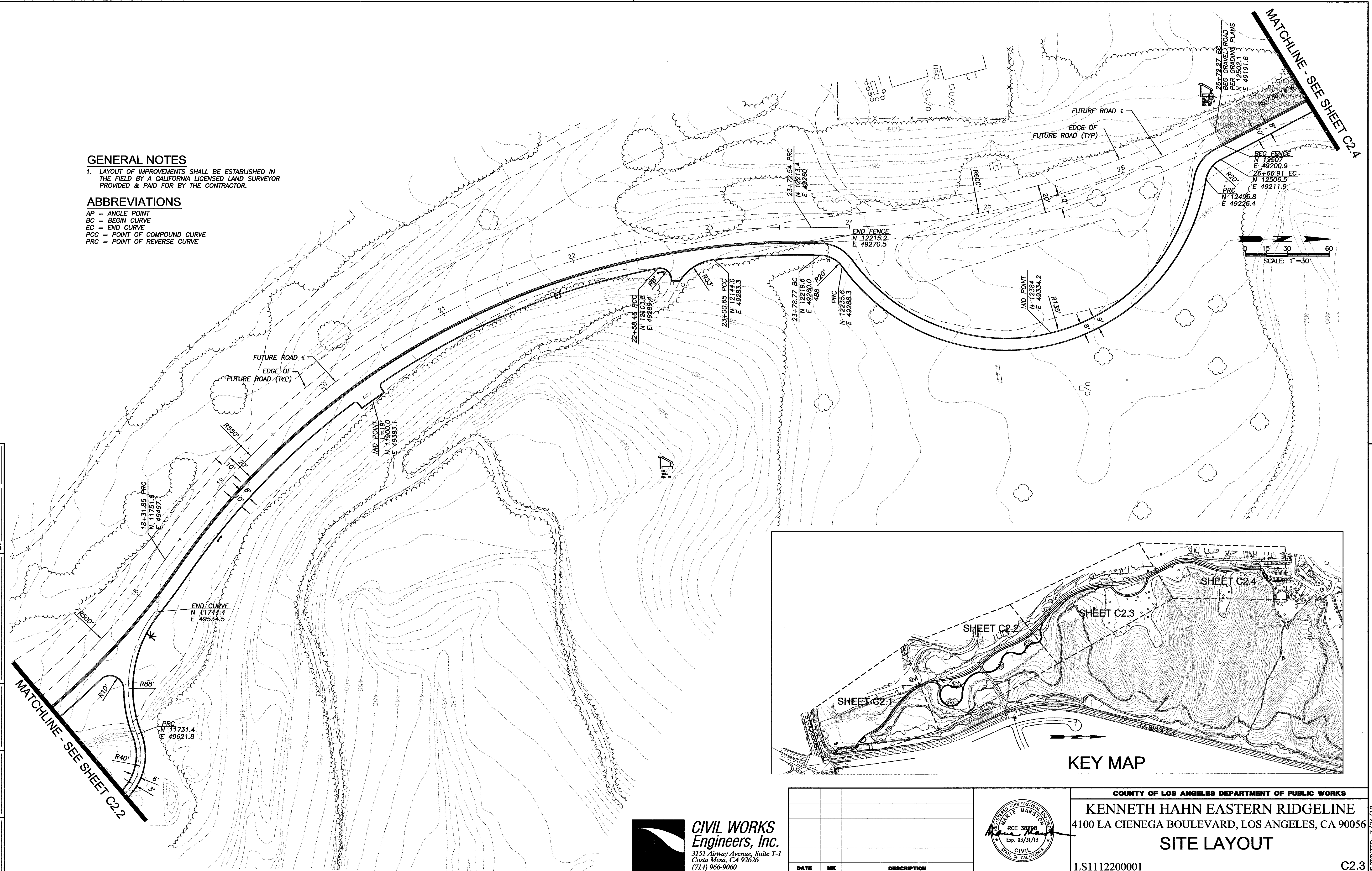
SHEET 5 OF 46

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PROJECT CIVIL ENGINEER

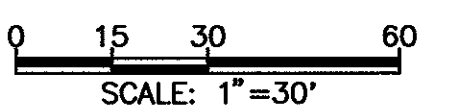
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SITE LAYOUT																				
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SPEC.	NO	718R	C.P.	NO.	69253	P200000655	SHEET	6	OF	46										

DATE PRINTED: 1/27/12

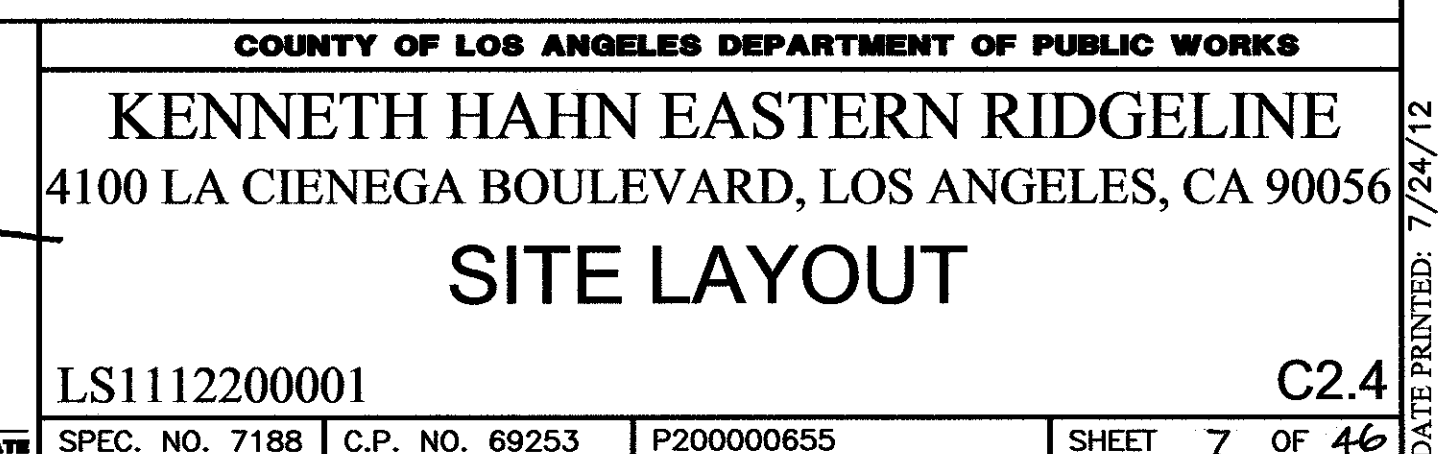


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A circular professional engineer seal for Marie Marston, State of California. The seal contains the text: REGISTERED PROFESSIONAL ENGINEER, MARIE MARSTON, RCE 38798, Exp. 03/31/13, CIVIL, and STATE OF CALIFORNIA. A signature, "Marie Marston", is written across the seal.



DATE PRINTED: 1/27/12



IN THE BALDWIN HILLS AREA OF THE CITY OF LOS ANGELES,  
COUNTY OF LOS ANGELES, STATE OF CALIFORNIA



SHEET	SHEET DESCRIPTION
C3.0	TITLE SHEET
C3.1	GRADING NOTES
C3.2	SITE GRADING
C3.3	SITE GRADING
C3.4	SITE GRADING
C3.5	SITE GRADING
C3.6	SITE GRADING DETAILS

GRADING PERMIT APPLICATION NO.: GR1103290001

EARTHWORK VOLUMES:  
(QUANTITIES SHOWN ARE FOR PERMITTING PURPOSES ONLY, THE  
CONTRACTOR IS RESPONSIBLE TO VERIFY ALL QUANTITIES PRIOR  
TO CONSTRUCTION)

CUT = 2,020 CY 'CLEAN SOIL' (UNADJUSTED)  
 FILL = 1,130 CY 'CLEAN SOIL' (UNADJUSTED)  
 CUT = 11,460 CY 'TPH CONTAMINATED SOIL' (UNADJUSTED)  
 FILL = 740 CY 'TPH CONTAMINATED SOIL' (UNADJUSTED)  
 EXPORT LOCATION = TO BE DETERMINED BY CONTRACTOR

TOTAL DISTURBED AREA = 5.3 ACRES±

TOTAL PROPOSED LANDSCAPE AREA = 4.4 ACRES

TOTAL TURF AREA: 9%

**TOTAL DROUGHT TOLERANT LANDSCAPING AREA: 91%**

PRE-DEVELOPMENT: IMPERVIOUS AREA = 0.1 ACRES

POST DEVELOPMENT: IMPERVIOUS AREA = 0.1 ACRES

PROPERTY ADDRESS: 4100 S. LA CIENEGA BOULEVARD  
BALDWIN HILLS, CA 90056

PROPERTY OWNER: STATE OF CALIFORNIA

SITE OPERATED BY: COUNTY OF LOS ANGELES  
DEPARTMENT OF PARKS & RECREATION  
433 S. VERMONT AVENUE  
LOS ANGELES, CA 90020

ASSESSORS ID NO.: 5029-020-904

PROPERTY ZONING: A-2

INTENDED LAND USE: PUBLIC PARK

AS LAND SURVEYOR OF THIS PROJECT, I HAVE IDENTIFIED THE LOCATION OF ALL EASEMENTS WHICH ARE DEPICTED ON THESE PLANS.

---

STEFAN C. LANTHIER, PLS

DATE \_\_\_\_\_

AS CIVIL ENGINEER OF THIS PROJECT, I HAVE REVIEWED THE EASEMENT DOCUMENTS AND VERIFIED THE PROPOSED CONSTRUCTION DOES NOT CONFLICT OR INTERFERE WITH THE INTENDED EASEMENT USE.

MARIE MARSTON, P.E.

DATE \_\_\_\_\_

## CITY OF LOS ANGELES BM 04672

SPK W CURB OVERHILL DR. 1FT S/O BCR S/O LA BREA AVE  
200 FT S/O STOCKER ST.

ELEV = 437.069 NGVD 1929 (1985 YEAR OF RECORD)

---

AC = ASPHALT CONCRETE  
BC = BEGIN CURVE  
C = CENTERLINE  
CONC = CONCRETE  
EC = END CURVE  
FG = FINISHED GROUND  
FS = FINISHED SURFACE  
GB = GRADE BREAK  
PCC = POINT OF COMPOUND CURVE  
PRC = POINT OF REVERSE CURVE  
PVMT = PAVEMENT  
STLT = STREET LIGHT  
SW = SIDEWALK  
TYP = TYPICAL

**COUNTY OF LOS ANGELES DEPARTMENT OF PUBLIC WORKS**  
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# GRADING TITLE SHEET

LS1112200001

**C3.0**

DATE	SPEC. NO. 7188	C.P. NO. 69253	P200000655
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SHEET 8 OF 46

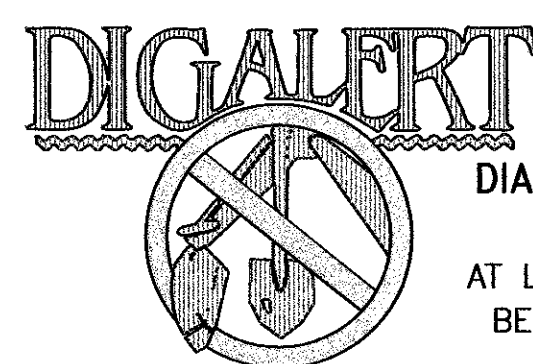
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The existence and location of underground utility pipes, lines or structures shown on this plan were obtained by a search of available records. to the best of our knowledge, there are no existing utilities except as shown on these Plans. The contractor is required to take due precautionary measures to protect the utilities shown and any other lines or structures not shown on these plans.

The Contractor and Subcontractors performing work shown on or related to these Plans shall conduct their operations so that all employees are provided a safe place to work and the public is protected. The Contractor and subcontractors shall comply with the "Occupational Safety and Health Regulations" of the U.S. Department of Labor and, with State of California Department of Industrial Relations "Construction Safety Orders."

The Agency and Civil Engineer shall not be responsible in any way for the Contractors' and Subcontractors' compliance with the "Occupational Safety and Health Regulations" of the U.S. Department of Labor and with State of California Department of Industrial Relations "Construction Safety Orders."

The Contractor shall assume sole and complete responsibility for job site conditions during the course of construction of this project, including safety of all persons and property; that this requirement shall apply continuously and not be limited to normal working hours; and that the Contractor shall defend, indemnify and hold the County and the Civil Engineer harmless from any and all liability in connection with the performance of work on this project.



DIAL TOLL FREE  
811  
AT LEAST TWO DAYS  
BEFORE YOU DIG

UNDERGROUND SERVICE ALERT OF SOUTHERN CALIFORNIA  
PURSUANT TO ASSEMBLY BILL 3019 NO EXCAVATION  
PERMIT IS VALID UNLESS THE CONTRACTOR CONTACTS AND  
OBTAINS AN INQUIRY I.D. NUMBER FROM "UNDERGROUND  
SERVICE ALERT" (811) AT LEAST TWO WORKING DAYS  
PRIOR TO COMMENCING EXCAVATION.



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<b>DATE</b>	<b>MIC</b>	<b>DESCRIPTION</b>
<b>REVISIONS</b>		



**PROJECT CIVIL ENGINEER**

DATE \_\_\_\_\_

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3. ALL GRADING AND CONSTRUCTION ACTIVITIES SHALL CONFORM TO THE 2011 OF THE COUNTY OF LOS ANGELES BUILDING CODES AND THE STATE MODEL WATER EFFICIENCY LANDSCAPE ORDINANCE UNLESS SPECIFICALLY NOTED ON THESE PLANS.
2. ANY MODIFICATIONS OR CHANGES TO APPROVED GRADING PLANS MUST BE APPROVED BY THE COUNTY.
3. NO GRADING SHALL BE STARTED WITHOUT FIRST NOTIFYING THE COUNTY OFFICIAL. A PRE-GRADING MEETING AT THE SITE IS REQUIRED BEFORE THE START OF THE GRADING WITH THE FOLLOWING PEOPLE PRESENT: GRADING CONTRACTOR, DESIGN CIVIL ENGINEER, SOILS ENGINEER, GEOLOGIST, COUNTY GRADING INSPECTOR(S) OR THEIR REPRESENTATIVES, AND WHEN REQUIRED THE ARCHEOLOGIST OR OTHER JURISDICTIONAL AGENCIES. CONTRACTOR IS RESPONSIBLE FOR ARRANGING PRE-GRADE MEETING AND MUST NOTIFY THE COUNTY OFFICIAL AT LEAST FIVE BUSINESS DAYS PRIOR TO PROPOSED PRE-GRADE MEETING.
4. APPROVAL OF THESE PLANS REFLECT SOLELY THE REVIEW OF PLANS IN ACCORDANCE WITH THE COUNTY OF LOS ANGELES BUILDING CODES AND DOES NOT REFLECT ANY POSITION BY THE COUNTY OF LOS ANGELES OR THE DEPARTMENT OF PUBLIC WORKS REGARDING THE STATUS OF ANY TITLE ISSUES RELATING TO THE LAND ON WHICH THE IMPROVEMENTS MAY BE CONSTRUCTED. ANY DISPUTES RELATING TO TITLE ARE SOLELY A PRIVATE MATTER NOT INVOLVING THE COUNTY OF LOS ANGELES OR THE DEPARTMENT OF PUBLIC WORKS.
5. ALL GRADING AND CONSTRUCTION ACTIVITIES SHALL COMPLY WITH COUNTY OF LOS ANGELES CODE, TITLE 12, SECTION 12.12.030 THAT CONTROLS AND RESTRICTS NOISE FROM THE USE OF CONSTRUCTION AND GRADING EQUIPMENT FROM THE HOURS OF 8:00 PM TO 6:30 AM, AND ON SUNDAYS AND HOLIDAYS. (MORE RESTRICTIVE CONSTRUCTION ACTIVITY TIMES MAY GOVERN, AS REQUIRED BY THE DEPARTMENT OF REGIONAL PLANNING AND SHOULD BE SHOWN ON THE GRADING PLANS WHEN APPLICABLE.)
6. CALIFORNIA PUBLIC RESOURCES CODE (SECTION 5097.98) AND HEALTH AND SAFETY CODE (SECTION 7050.5) ADDRESS THE DISCOVERY AND DISPOSITION OF HUMAN REMAINS. IN THE EVENT OF DISCOVERY OR RECOGNITION OF ANY HUMAN REMAINS IN ANY LOCATION OTHER THAN A DEDICATED CEMETERY, THE LAW REQUIRES THAT GRADING IMMEDIATELY STOPS AND NO FURTHER EXCAVATION OR DISTURBANCE OF THE SITE, OR ANY NEARBY AREA WHERE HUMAN REMAINS MAY BE LOCATED, OCCUR UNTIL THE FOLLOWING MEASURES HAVE BEEN TAKEN: (A) THE COUNTY CORONER HAS BEEN INFORMED AND HAS DETERMINED THAT NO INVESTIGATION OF THE CAUSE OF DEATH IS REQUIRED, AND (B) IF THE REMAINS ARE OF NATIVE AMERICAN ORIGIN, THE DESCENDANTS FROM THE DECEASED NATIVE AMERICANS HAVE MADE A RECOMMENDATION FOR THE MEANS OF TREATING OR DISPOSING, WITH APPROPRIATE DIGNITY, OF THE HUMAN REMAINS AND ANY ASSOCIATED GRAVE GOODS.
7. THE LOCATION AND PROTECTION OF ALL UTILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
8. ALL EXPORT OF MATERIAL FROM THE SITE MUST GO TO A PERMITTED SITE APPROVED BY THE COUNTY OFFICIAL OR A LEGAL DUMPSITE. RECEIPTS FOR ACCEPTANCE OF EXCESS MATERIAL BY A DUMPSITE ARE REQUIRED AND MUST BE PROVIDED TO THE COUNTY OFFICIAL UPON REQUEST.
9. A COPY OF THE GRADING PERMIT AND APPROVED GRADING PLANS MUST BE IN THE POSSESSION OF A RESPONSIBLE PERSON AND AVAILABLE AT THE SITE AT ALL TIMES.
10. SITE BOUNDARIES, EASEMENTS, DRAINAGE DEVICES, RESTRICTED USE AREAS SHALL BE LOCATED PER CONSTRUCTION STAKING BY LICENSED SURVEYOR PRIOR TO GRADING, AS REQUESTED BY THE COUNTY OFFICIAL, ALL PROPERTY LINES, EASEMENTS, AND RESTRICTED USE AREAS SHALL BE STAKED.
11. A PREVENTIVE PROGRAM TO PROTECT THE SLOPES FROM POTENTIAL DAMAGE FROM BURROWING RODENTS IS REQUIRED PER SECTION 3307.6 OF THE COUNTY OF LOS ANGELES BUILDING CODE. OWNER IS TO INSPECT SLOPES PERIODICALLY FOR EVIDENCE OF BURROWING RODENTS AND A FIRST EVIDENCE OF THEIR EXISTENCE SHALL EMPLOY AN EXTERMINATOR FOR THEIR REMOVAL.
12. IF GRADING AUTHORIZED BY THIS PLAN IS TO EXTEND THROUGH THE RAINY SEASON, NOVEMBER 1 THROUGH APRIL 15 OF THE FOLLOWING YEAR, SEPARATE UPDATED PLANS FOR EROSION CONTROL MUST BE SUBMITTED PRIOR TO OCTOBER PER SECTION J111.3 OF THE COUNTY OF LOS ANGELES BUILDING CODE.

1. THE CONTRACTOR OR HIS AGENT SHALL NOTIFY THE COUNTY OFFICIAL AT LEAST ONE WORKING DAY IN ADVANCE OF REQUIRED INSPECTIONS AT FOLLOWING STAGES OF THE WORK. (SECTION J105.7 OF THE BUILDING CODE.)
  - (A) PRE-GRADE - SEE ABOVE FOR ADDITIONAL REQUIREMENTS.
  - (B) INITIAL. WHEN THE SITE HAS BEEN CLEARED OF VEGETATION AND UNAPPROVED FILL HAS BEEN SCARIFIED, BENCHED OR OTHERWISE PREPARED FOR FILL, FILL SHALL NOT BE PLACED PRIOR TO THIS INSPECTION. NOTE: PRIOR TO ANY CONSTRUCTION ACTIVITIES, INCLUDING GRADING, ALL STORM WATER POLLUTION PREVENTION MEASURES INCLUDING EROSION CONTROL DEVICES WHICH CONTAIN SEDIMENTS MUST BE INSTALLED.
  - (C) ROUGH. WHEN APPROXIMATE FINAL ELEVATIONS HAVE BEEN ESTABLISHED; DRAINAGE TERRACES, SWALES AND BERMS INSTALLED AT THE TOP OF THE SLOPE; AND THE STATEMENTS REQUIRED IN THIS SECTION HAVE BEEN RECEIVED.
  - (D) FINAL. WHEN GRADING HAS BEEN COMPLETED; ALL DRAINAGE DEVICES INSTALLED; SLOPE PLANTING ESTABLISHED, IRRIGATION SYSTEMS INSTALLED AND THE AS-BUILT PLANS, REQUIRED STATEMENTS, AND REPORTS HAVE BEEN SUBMITTED AND APPROVED.
2. IN ADDITION TO THE INSPECTION REQUIRED OF THE COUNTY OFFICIAL FOR REGULAR GRADING, REPORTS AND STATEMENTS SHALL BE SUBMITTED TO THE COUNTY OFFICIAL IN ACCORDANCE WITH SECTION J105 OF THE COUNTY OF LOS ANGELES BUILDING CODE.
3. ALL GRADED SITES MUST HAVE DRAINAGE SWALES, BERMS, AND OTHER DRAINAGE DEVICES INSTALLED PRIOR TO ROUGH GRADING APPROVAL PER SECTION J105.7 OF THE COUNTY OF LOS ANGELES BUILDING CODE.
4. THE GRADING CONTRACTOR SHALL SUBMIT THE STATEMENT TO THE GRADING INSPECTOR AS REQUIRED BY SECTION J105.12 OF THE COUNTY OF LOS ANGELES BUILDING CODE AT THE COMPLETION OF ROUGH GRADING.

1. ALL FILL SHALL BE COMPACTED TO THE FOLLOWING MINIMUM RELATIVE COMPACTION CRITERIA:
  - (A) 90 PERCENT OF MAXIMUM DRY DENSITY WITHIN 40 FEET BELOW FINISH GRADE.
  - (B) 93 PERCENT OF MAXIMUM DRY DENSITY DEEPER THAN 40 FEET BELOW FINISH GRADE, UNLESS A LOWER RELATIVE COMPACTION (NOT LESS THAN 90 PERCENT OF MAXIMUM DRY DENSITY) IS JUSTIFIED BY THE GEOTECHNICAL ENGINEER.

THE RELATIVE COMPACTION SHALL BE DETERMINED BY A.S.T.M. SOIL COMPACTION TEST D1557-91 WHERE APPLICABLE: WHERE NOT APPLICABLE, A TEST ACCEPTABLE TO THE BUILDING OFFICIAL SHALL BE USED. (SECTION J107.5 OF THE COUNTY OF LOS ANGELES BUILDING CODE.)
2. FIELD DENSITY SHALL BE DETERMINED BY A METHOD ACCEPTABLE TO THE BUILDING OFFICIAL. (SECTION J107.5 OF THE COUNTY OF LOS ANGELES BUILDING CODE.) HOWEVER, NOT LESS THAN 10% OF THE REQUIRED DENSITY TEST, UNIFORMLY DISTRIBUTED, AND SHALL BE OBTAINED BY THE SAND CONE METHOD.
3. SUFFICIENT TESTS OF THE FILL SOILS SHALL BE MADE TO DETERMINE THE RELATIVE COMPACTION OF THE FILL IN ACCORDANCE WITH THE FOLLOWING MINIMUM GUIDELINES:
  - (A) ONE TEST FOR EACH TWO-FOOT VERTICAL LIFT.
  - (B) ONE TEST FOR EACH 1,000 CUBIC YARDS OF MATERIAL PLACED.
  - (C) ONE TEST AT THE LOCATION OF THE FINAL FILL SLOPE FOR EACH BUILDING SITE (LOT) IN EACH FOUR-FOOT VERTICAL LIFT OR PORTION THEREOF.
  - (D) ONE TEST IN THE VICINITY OF EACH BUILDING PAD FOR EACH FOUR-FOOT VERTICAL LIFT OR PORTION THEREOF.
4. SUFFICIENT TESTS OF FILL SOILS SHALL BE MADE TO VERIFY THAT THE SOIL PROPERTIES COMPLY WITH THE DESIGN REQUIREMENTS, AS DETERMINED BY THE SOIL ENGINEER INCLUDING SOIL TYPES, SHEAR STRENGTHS PARAMETERS AND CORRESPONDING UNIT WEIGHTS IN ACCORDANCE WITH THE FOLLOWING GUIDELINES:
  - (A) PRIOR AND SUBSEQUENT TO PLACEMENT OF THE FILL, SHEAR TESTS SHALL BE TAKEN ON EACH TYPE OF SOIL OR SOIL MIXTURE TO BE USED FOR ALL FILL SLOPES STEEPER THAN THREE (3) HORIZONTAL TO ONE VERTICAL.
  - (B) SHEAR TEST RESULTS FOR THE PROPOSED FILL MATERIAL MUST MEET OR EXCEED THE DESIGN VALUES USED IN THE GEOTECHNICAL REPORT TO DETERMINE SLOPE STABILITY REQUIREMENTS. OTHERWISE, THE SLOPE MUST BE REEVALUATED USING THE ACTUAL SHEAR TEST VALUE OF THE FILL MATERIAL THAT IS IN PLACE.
  - (C) FILL SOILS SHALL BE FREE OF DELETERIOUS MATERIALS.
5. FILL SHALL NOT BE PLACED UNTIL STRIPPING OF VEGETATION, REMOVAL OF UNSUITABLE SOILS, AND INSTALLATION OF SUBDRAIN (IF ANY) HAVE BEEN INSPECTED AND APPROVED BY THE SOIL ENGINEER. THE BUILDING OFFICIAL MAY REQUIRE A "STANDARD TEST METHOD FOR MOISTURE, ASH, ORGANIC MATTER, PEAT OR OTHER ORGANIC SOILS" ASTM D-2974-87 ON ANY SUSPECT MATERIAL. DETRIMENTAL AMOUNTS OF ORGANIC MATERIAL SHALL NOT BE PERMITTED IN FILLS. SOIL CONTAINING SMALL AMOUNTS OF ROOTS MAY BE ALLOWED PROVIDED THAT THE ROOTS ARE IN A QUANTITY AND DISTRIBUTED IN A MANNER THAT WILL NOT BE DETRIMENTAL TO THE FUTURE USE OF THE SITE AND THE SOILS ENGINEER APPROVES THE USE OF SUCH MATERIAL.
6. ROCK OR SIMILAR MATERIAL GREATER THAN 12 INCHES IN DIAMETER SHALL NOT BE PLACED IN THE FILL UNLESS RECOMMENDATIONS FOR SUCH PLACEMENT HAVE BEEN SUBMITTED BY THE SOIL ENGINEER AND APPROVED IN ADVANCE BY THE BUILDING OFFICIAL. LOCATION, EXTENT, AND ELEVATION OF ROCK DISPOSAL AREAS MUST BE SHOWN ON AN "AS BUILT" GRADING PLAN.
7. CONTINUOUS INSPECTION BY THE SOIL ENGINEER, OR A RESPONSIBLE REPRESENTATIVE, SHALL BE PROVIDED DURING ALL FILL PLACEMENT AND COMPACTION OPERATIONS WHERE FILLS HAVE A DEPTH GREATER THAN 30 FEET OR SLOPE SURFACE STEEPER THAN 2:1. (SECTION J107.8 OF THE COUNTY OF LOS ANGELES BUILDING CODE)
8. CONTINUOUS INSPECTION BY THE SOIL ENGINEER, OR A RESPONSIBLE REPRESENTATIVE, SHALL BE PROVIDED DURING ALL SUBDRAIN INSTALLATION. (SECTION J107.2 OF THE COUNTY OF LOS ANGELES BUILDING CODE)
9. ALL SUBDRAIN OUTLETS ARE TO BE SURVEYED FOR LINE AND ELEVATION. SUBDRAIN INFORMATION MUST BE SHOWN ON AN "AS BUILT" GRADING PLAN.
10. FILL SLOPES IN EXCESS OF 2:1 STEEPNESS RATIO ARE TO BE CONSTRUCTED BY THE PLACEMENT OF SOIL AT SUFFICIENT DISTANCE BEYOND THE PROPOSED FINISH SLOPE TO ALLOW COMPACTION EQUIPMENT TO BE OPERATED AT THE OUTER LIMITS OF THE FINAL SLOPE SURFACE. THE EXCESS FILL IS TO BE REMOVED PRIOR TO COMPLETION OF ROUGH GRADING. OTHER CONSTRUCTION PROCEDURES MAY BE USED WHEN IT IS DEMONSTRATED TO THE SATISFACTION OF THE BUILDING OFFICIAL THAT THE ANGLE OF SLOPE, CONSTRUCTION METHOD AND OTHER FACTORS WILL HAVE EQUIVALENT EFFECT. (SECTION J107.5 OF THE COUNTY OF LOS ANGELES BUILDING CODE.)

1. THE PROJECT SWPPP SHALL CONFORM TO THE REQUIREMENTS OF THE LOS ANGELES COUNTY DEPARTMENT OF PUBLIC WORKS STORM WATER POLLUTION PREVENTION PLAN (SWPPP) PREPARATION MANUAL AND CONSTRUCTION SITE BEST MANAGEMENT PRACTICES (BMPs) MANUAL.
2. EVERY EFFORT SHOULD BE MADE TO ELIMINATE THE DISCHARGE OF NON-STORMWATER FROM THE PROJECT SITE AT ALL TIMES.
3. ERODED SEDIMENTS AND OTHER POLLUTANTS MUST BE RETAINED ON-SITE AND MAY NOT BE TRANSPORTED FROM THE SITE VIA SHEET FLOW, SWALES, AREA DRAINS, NATURAL DRAINAGE COURSES OR WIND.
4. STOCKPILES OF EARTH AND OTHER CONSTRUCTION RELATED MATERIALS MUST BE PROTECTED FROM BEING TRANSPORTED FROM THE SITE BY THE FORCES OF WIND OR WATER.
5. FUELS, OILS, SOLVENTS, AND OTHER TOXIC MATERIALS MUST BE STORED IN ACCORDANCE WITH THEIR LISTING AND ARE NOT TO CONTAMINATE THE SOIL AND SURFACE WATERS. ALL APPROVED STORAGE CONTAINERS ARE TO BE PROTECTED FROM THE WEATHER. SPILLS MUST BE CLEANED UP IMMEDIATELY AND DISPOSED OF IN A PROPER MANNER. SPILLS MAY NOT BE WASHED INTO THE DRAINAGE SYSTEM.
6. EXCESS OR WASTE CONCRETE MAY NOT BE WASHED INTO THE PUBLIC WAY OR ANY OTHER DRAINAGE SYSTEM. PROVISIONS SHALL BE MADE TO RETAIN CONCRETE WASTES ON-SITE UNTIL THEY CAN BE DISPOSED OF AS SOLID WASTE.
7. TRASH AND CONSTRUCTION RELATED SOLID WASTES MUST BE DEPOSITED INTO A COVERED RECEPTACLE TO PREVENT CONTAMINATION OF RAINWATER AND DISPERSAL BY WIND.
8. SEDIMENTS AND OTHER MATERIALS MAY NOT BE TRACKED FROM THE SITE BY VEHICLE TRAFFIC. THE CONSTRUCTION ENTRANCE ROADWAYS MUST BE STABILIZED SO AS TO INHIBIT SEDIMENTS FROM BEING DEPOSITED INTO THE PUBLIC WAY. ACCIDENTAL DEPOSITIONS MUST BE SWEEP UP IMMEDIATELY AND MAY NOT BE WASHED DOWN BY RAIN OR OTHER MEANS.
9. ANY SLOPES WITH DISTURBED SOILS OR DENUDED OF VEGETATION MUST BE STABILIZED SO AS TO INHIBIT EROSION BY WIND AND WATER.

- a. THE SURFACE OF ALL CUT SLOPES MORE THAN 5 FEET IN HEIGHT AND FILL SLOPES MORE THAN 3 FEET IN HEIGHT SHALL BE PROTECTED AGAINST DAMAGE BY EROSION BY PLANTING WITH GRASS OR GROUNDCOVER PLANTS. SLOPES EXCEEDING 15 FEET IN VERTICAL HEIGHT SHALL ALSO BE PLANTED WITH SHRUBS, SPACED AT NOT TO EXCEED 10 FEET ON CENTERS; OR TREES, SPACED AT NOT TO EXCEED 20 FEET ON CENTERS, OR A COMBINATION OF SHRUBS AND TREES ON EQUIVALENT PLACING. IN ADDITION TO THE GRASS OR GROUNDCOVER PLANTS, THE PLANTS SELECTED AND PLANTING METHOD USED SHALL BE SUITABLE FOR THE SOIL AND CLIMATIC CONDITIONS AT THE SITE. THE PLANT MATERIAL SHALL BE SELECTED WHICH WILL PRODUCE A COVERAGE OF PERMANENT PLANTING EFFECTIVELY CONTROLLING EROSION. CONSIDERATION SHALL BE GIVEN TO DEEP-ROOTED PLANTING MATERIAL NEEDING LIMITED WATERING, MAINTENANCE, HIGH ROOT TO SHOOT RATIO, WIND SUSCEPTIBILITY AND FIRE-RETARDANT CHARACTERISTICS. ALL PLANT MATERIALS MUST BE APPROVED BY THE BUILDING OFFICIAL. (SECTION J110.3 OF THE COUNTY OF LOS ANGELES BUILDING CODE)
- NOTE: PLANTING MAY BE MODIFIED FOR THE SITE IF SPECIFIC RECOMMENDATIONS ARE PROVIDED BY BOTH THE SOILS ENGINEER AND LANDSCAPE ARCHITECT. SPECIFIC RECOMMENDATIONS MUST CONSIDER SOILS AND CLIMATIC CONDITIONS, IRRIGATIONS REQUIREMENTS, PLANTING METHODS, FIRE RETARDANT CHARACTERISTICS, WATER EFFICIENCY, MAINTENANCE NEEDS, AND OTHER REGULATORY REQUIREMENTS. RECOMMENDATIONS MUST INCLUDE A FINDING THAT THE ALTERNATIVE METHOD WILL PROVIDE A PERMANENT AND EFFECTIVE METHOD OF EROSION CONTROL. MODIFICATIONS TO PLANTING MUST BE APPROVED BY THE BUILDING OFFICIAL PRIOR TO INSTALLATION.
- b. SLOPES REQUIRED TO BE PLANTED BY SECTION J110.3 SHALL BE PROVIDED WITH AN APPROVED SYSTEM OF IRRIGATION THAT IS DESIGNED TO COVER ALL PORTIONS OF THE SLOPE. IRRIGATION SYSTEM PLANS SHALL BE SUBMITTED AND APPROVED PRIOR TO INSTALLATION. A FUNCTIONAL TEST OF THE SYSTEM MAY BE REQUIRED. FOR SLOPES LESS THAN 20 FEET IN VERTICAL HEIGHT, HOSE BIBS TO PERMIT HAND WATERING WILL BE ACCEPTABLE IF SUCH HOSE BIBS ARE INSTALLED AT CONVENIENTLY ACCESSIBLE LOCATIONS WHERE A HOSE NO LONGER THAN 50 FEET IS NECESSARY FOR IRRIGATION. THE REQUIREMENTS FOR PERMANENT IRRIGATION SYSTEMS MAY BE MODIFIED UPON SPECIFIC RECOMMENDATION OF A LANDSCAPE ARCHITECT OR EQUIVALENT AUTHORITY THAT, BECAUSE OF THE TYPE OF PLANTS SELECTED, THE PLANTING METHODS USED AND THE SOIL AND CLIMATIC CONDITIONS AT THE SITE, IRRIGATION WILL NOT BE NECESSARY FOR THE MAINTENANCE OF THE SLOPE PLANTING. (SECTION J110.4 OF THE COUNTY OF LOS ANGELES BUILDING CODE)
- c. OTHER GOVERNMENTAL AGENCIES MAY HAVE ADDITIONAL REQUIREMENTS FOR LANDSCAPING AND IRRIGATION. IT IS THE RESPONSIBILITY OF THE APPLICANT TO COORDINATE WITH OTHER AGENCIES TO MEET THEIR REQUIREMENTS WHILE MAINTAINING COMPLIANCE WITH THE COUNTY OF LOS ANGELES BUILDING CODE.

2. THE PLANTING AND IRRIGATION SYSTEMS SHALL BE INSTALLED AS SOON AS PRACTICAL AFTER ROUGH GRADING. PRIOR TO FINAL GRADING APPROVAL ALL REQUIRED SLOPE PLANTING MUST BE WELL ESTABLISHED. (SECTION J110.7 OF THE COUNTY OF LOS ANGELES BUILDING CODE )
3. LANDSCAPE IRRIGATION SYSTEM SHALL BE DESIGNED AND MAINTAINED TO PREVENT SPRAY ON STRUCTURES. (TITLE 31, SECTION 5.407.2.1).
4. PRIOR TO ROUGH GRADE APPROVAL THIS PROJECT REQUIRES A LANDSCAPE PERMIT. LANDSCAPE PLANS IN COMPLIANCE WITH THE "MODEL WATER EFFICIENT LANDSCAPE ORDINANCE" TITLE 23, CHAPTER 2.7 OF CALIFORNIA CODE OF REGULATIONS (AB 1881) MUST BE SUBMITTED TO THE DEPARTMENT OF PUBLIC WORKS, LAND DEVELOPMENT DIVISION (900 S. FREMONT AVE, ALHAMBRA – 3RD FLOOR, CA 91803 (626) 458-4921). TO OBTAIN LANDSCAPE PERMIT APPROVED PLANS AND WATER PUMP/VALVE ACKNOWLEDGEMENT FORM MUST BE SUBMITTED TO THE LOCAL BUILDING AND SAFETY OFFICE.

1. PROVISIONS SHALL BE MADE FOR CONTRIBUTORY DRAINAGE AT ALL TIMES.

1. WATER IMPROVEMENTS MAY REQUIRE SEPARATE PERMIT. CONTRACTOR SHALL VERIFY NEED FOR SEPARATE PERMITS.

1. CONTRACTOR SHALL PROVIDE A CALIFORNIA LICENSED LAND SURVEYOR TO LAYOUT THE PROJECT IMPROVEMENTS (HORIZONTAL AND VERTICAL) FOR THE PROJECT.

1. ALL WORK MUST BE IN COMPLIANCE WITH THE RECOMMENDATIONS INCLUDED IN:
  - THE PROJECT GEOTECHNICAL REPORT (NINYO & MOORE PROJECT NO. 203319001, DATED 9/29/04)
  - PRELIMINARY ENDANGERMENT ASSESSMENT (STATE OF CALIFORNIA, DEPT OF TOXIC SUBSTANCES CONTROL, DTSC SITE CODE 301223-11, JULY 2005)
  - SUPPLEMENT SITE INVESTIGATION (URS, UNDER DIRECTION FROM DTSC, DATED 2/17/12)
  - APPROVED GRADING PLANS AND SPECIFICATIONS.
2. SOIL GRADING OPERATIONS SHALL BE IN ACCORDANCE WITH THE SOIL MANAGEMENT PLAN PROVIDED IN THE PROJECT SUPPLEMENT SITE INVESTIGATION BY URS.
3. IN ORDER TO REDUCE THE EXPANSION POTENTIAL UNDER EXTERIOR HARDSCAPE AREAS, THE SUBGRADE SOILS SHOULD BE MOISTURE CONDITIONED PRIOR TO THE PLACEMENT OF CONCRETE. REFER TO PROJECT'S GEOTECHNICAL REPORT FOR ADDITIONAL INFORMATION (NINYO & MOORE PROJECT NO. 203319001, DATED 9/29/04)
4. EXCAVATION OF THE ON-SITE MATERIAL SHOULD BE ACHIEVABLE WITH HEAVY EARTHMOVING EQUIPMENT.

1. IMPORTED SOIL PLACED IN AREAS TO BE PLANTED SHALL BE IN ACCORDANCE WITH STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (SSPWC) SECTION 212-1.1.2 CLASS 'A' TOPSOIL UNLESS OTHERWISE NOTED IN PROJECT SPECIFICATIONS AND/OR LANDSCAPE PLANS.

NOTE: CONTRACTOR SHALL BE RESPONSIBLE TO PREPARE SWPPP PRIOR TO STARTING CONSTRUCTION. CONTRACTOR SHALL SUBMIT SWPPP TO COUNTY FOR REVIEW AND APPROVAL.

<b>DRAFTER</b>	<b>DESIGNER</b>	<b>CHECKER</b>	<b>CADD PROJECT FILE NAME</b>	<b>REVIEWED</b>	<b>DATE</b>
				BY	



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**Engineers, Inc.**  
3151 Airway Avenue, Suite T-1  
Costa Mesa, CA 92626  
(714) 966-9060

[illegible]**PROJECT CIVIL ENGINEER**

DATE \_\_\_\_\_

**COUNTY OF LOS ANGELES DEPARTMENT OF PUBLIC WORKS**

KENNETH HAHN EASTERN RIDGELINE  
4100 LA CIENEGA BOULEVARD, LOS ANGELES, CA 90056

## GRADING NOTES

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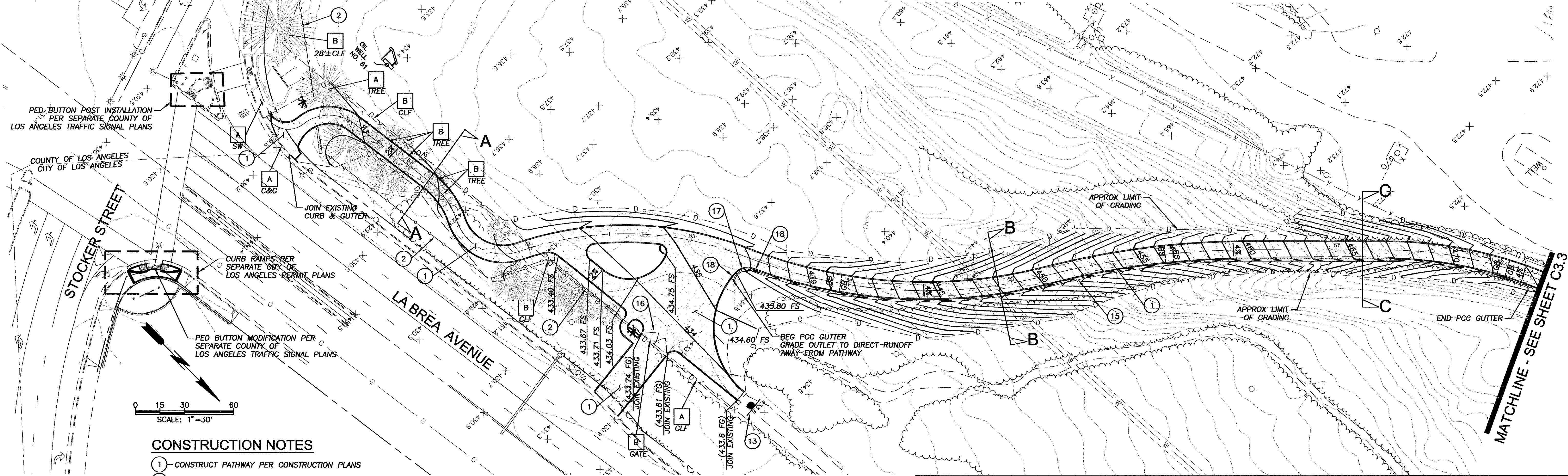
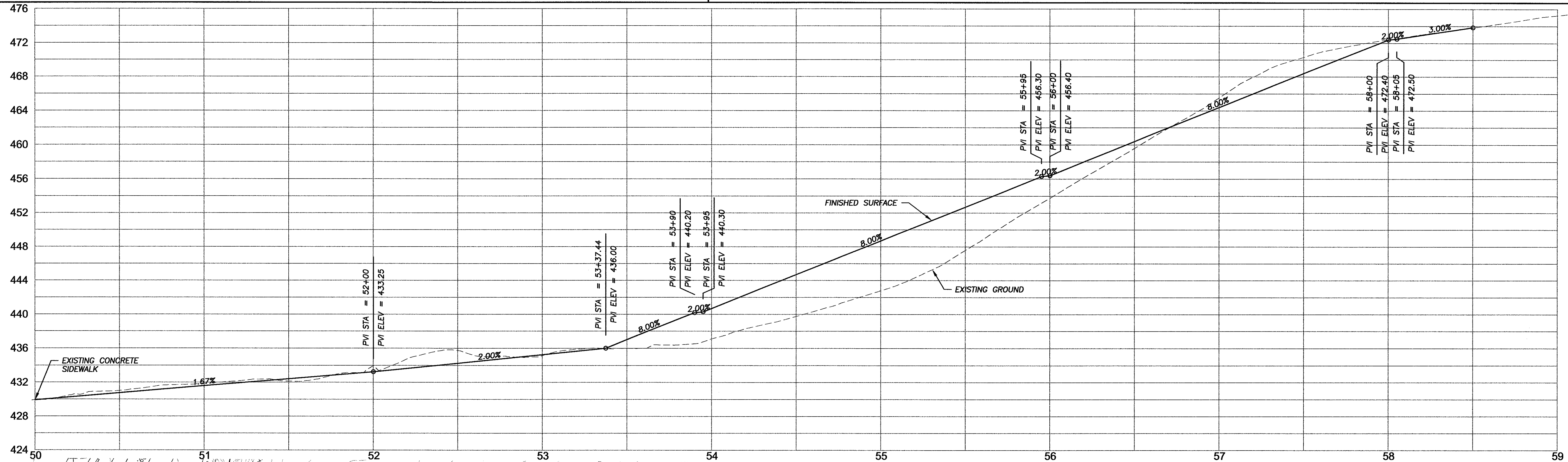
### C3.1

SPEC. NO. 7188	C.P. NO. 69253	P200000655
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SHEET 9 OF 46

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#### CONSTRUCTION NOTES

- 1- CONSTRUCT PATHWAY PER CONSTRUCTION PLANS
- 2- CONSTRUCT FENCE PER CONSTRUCTION PLANS
- 13- FURNISH & INSTALL TEMPORARY TRAIL CLOSURE SIGN, COORDINATE SIZE & WORDING WITH COUNTY PRIOR TO INSTALLATION AND START OF WORK
- 15- CONSTRUCT PCC GUTTER PER DETAIL 1, SHEET C3.6
- 16- ENTRANCE GATE PER CONSTRUCTION PLANS
- 17- CONSTRUCT 12" HIGH PCC CURB PER DETAIL 3, SHEET C3.6
- 18- CONSTRUCT PCC CURB TRANSITION PER DETAIL 4, SHEET C3.6

#### GENERAL NOTES

1. SEE SHEET C3.6 FOR TYPICAL SECTIONS

#### DISPOSITION NOTES

- |   |                                  |
|---|----------------------------------|
| A | PROTECT-IN-PLACE (ITEM AS NOTED) |
| B | REMOVE (ITEM AS NOTED)           |



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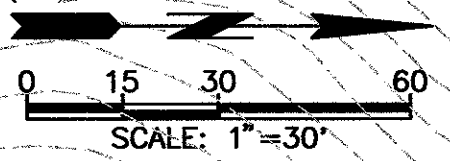
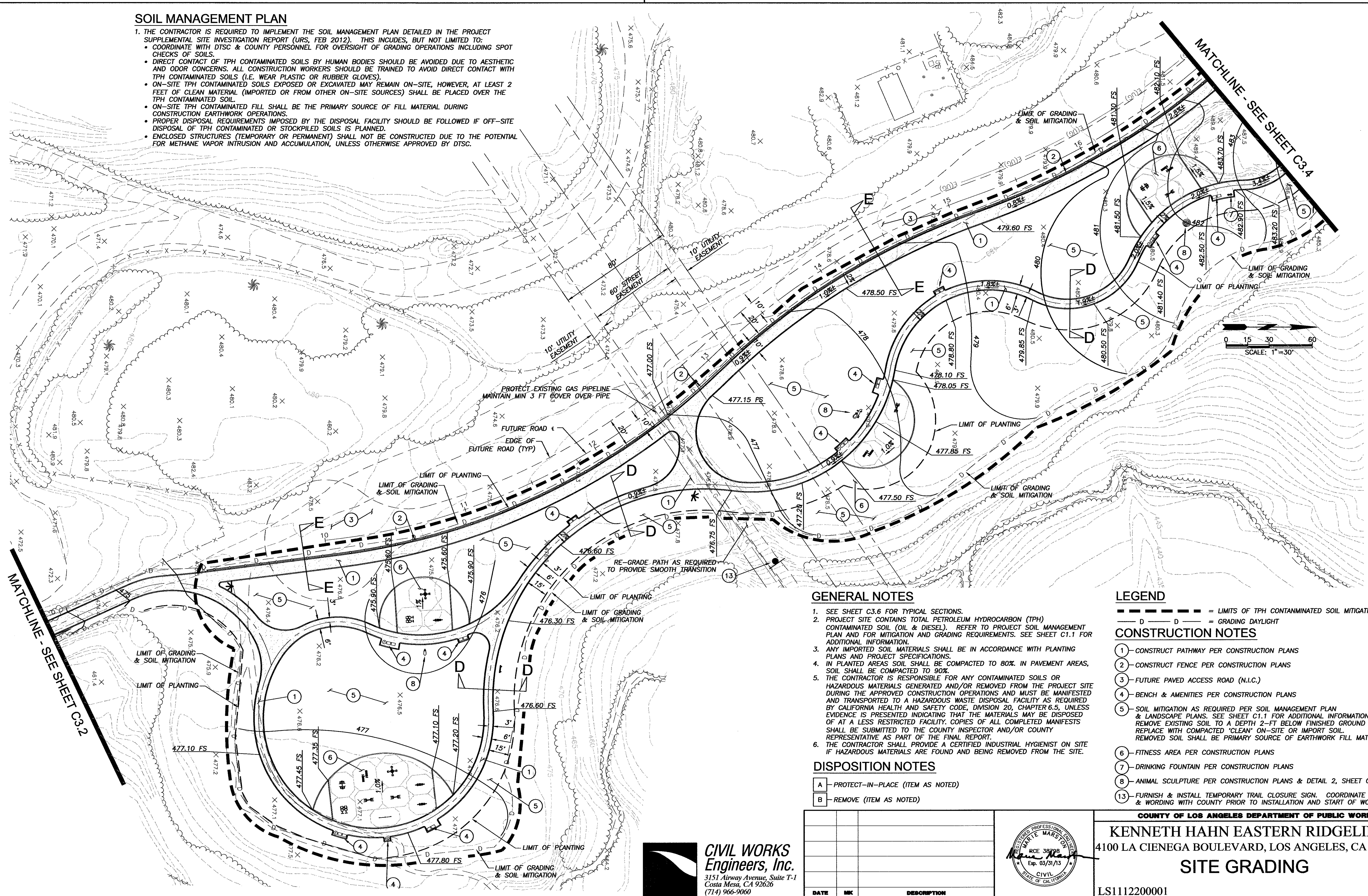


COUNTY OF LOS ANGELES DEPARTMENT OF PUBLIC WORKS			
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SITE GRADING			
LS1112200001		C3.2	
SPEC. NO. 7188	C.P. NO. 69253	P200000655	SHEET 10 OF 46



# SOIL MANAGEMENT PLAN

1. THE CONTRACTOR IS REQUIRED TO IMPLEMENT THE SOIL MANAGEMENT PLAN DETAILED IN THE PROJECT SUPPLEMENTAL SITE INVESTIGATION REPORT (URS, FEB 2012). THIS INCLUDES, BUT NOT LIMITED TO:
- COORDINATE WITH DTSC & COUNTY PERSONNEL FOR OVERSIGHT OF GRADING OPERATIONS INCLUDING SPOT CHECKS OF SOILS.
  - DIRECT CONTACT OF TPH CONTAMINATED SOILS BY HUMAN BODIES SHOULD BE AVOIDED DUE TO AESTHETIC AND ODOR CONCERNS. ALL CONSTRUCTION WORKERS SHOULD BE TRAINED TO AVOID DIRECT CONTACT WITH TPH CONTAMINATED SOILS (I.E. WEAR PLASTIC OR RUBBER GLOVES).
  - ON-SITE TPH CONTAMINATED SOILS EXPOSED OR EXCAVATED MAY REMAIN ON-SITE, HOWEVER, AT LEAST 2 FEET OF CLEAN MATERIAL (IMPORTED OR FROM OTHER ON-SITE SOURCES) SHALL BE PLACED OVER THE TPH CONTAMINATED SOIL.
  - ON-SITE TPH CONTAMINATED FILL SHALL BE THE PRIMARY SOURCE OF FILL MATERIAL DURING CONSTRUCTION EARTHWORK OPERATIONS.
  - PROPER DISPOSAL REQUIREMENTS IMPOSED BY THE DISPOSAL FACILITY SHOULD BE FOLLOWED IF OFF-SITE DISPOSAL OF TPH CONTAMINATED OR STOCKPILED SOILS IS PLANNED.
  - ENCLOSED STRUCTURES (TEMPORARY OR PERMANENT) SHALL NOT BE CONSTRUCTED DUE TO THE POTENTIAL FOR METHANE VAPOR INTRUSION AND ACCUMULATION, UNLESS OTHERWISE APPROVED BY DTSC.



## GENERAL NOTES

1. SEE SHEET C3.6 FOR TYPICAL SECTIONS.
2. PROJECT SITE CONTAINS TOTAL PETROLEUM HYDROCARBON (TPH) CONTAMINATED SOIL (OIL & DIESEL). REFER TO PROJECT SOIL MANAGEMENT PLAN AND FOR MITIGATION AND GRADING REQUIREMENTS. SEE SHEET C1.1 FOR ADDITIONAL INFORMATION.
3. ANY IMPORTED SOIL MATERIALS SHALL BE IN ACCORDANCE WITH PLANTING PLANS AND PROJECT SPECIFICATIONS.
4. IN PLANTED AREAS SOIL SHALL BE COMPACTED TO 80% IN PAVEMENT AREAS, SOIL SHALL BE COMPACTED TO 90%.
5. THE CONTRACTOR IS RESPONSIBLE FOR ANY CONTAMINATED SOILS OR HAZARDOUS MATERIALS GENERATED AND/OR REMOVED FROM THE PROJECT SITE DURING THE APPROVED CONSTRUCTION OPERATIONS AND MUST BE MANIFESTED AND TRANSPORTED TO A HAZARDOUS WASTE DISPOSAL FACILITY AS REQUIRED BY CALIFORNIA HEALTH AND SAFETY CODE, DIVISION 20, CHAPTER 6.5, UNLESS EVIDENCE IS PRESENTED INDICATING THAT THE MATERIALS MAY BE DISPOSED OF AT A LESS RESTRICTED FACILITY. COPIES OF ALL COMPLETED MANIFESTS SHALL BE SUBMITTED TO THE COUNTY INSPECTOR AND/OR COUNTY REPRESENTATIVE AS PART OF THE FINAL REPORT.
6. THE CONTRACTOR SHALL PROVIDE A CERTIFIED INDUSTRIAL HYGIENIST ON SITE IF HAZARDOUS MATERIALS ARE FOUND AND BEING REMOVED FROM THE SITE.

## DISPOSITION NOTES

- A - PROTECT-IN-PLACE (ITEM AS NOTED)  
B - REMOVE (ITEM AS NOTED)

## LEGEND

- = LIMITS OF TPH CONTAMINATED SOIL MITIGATION  
--- D --- = GRADING DAYLIGHT

## CONSTRUCTION NOTES

- 1 - CONSTRUCT PATHWAY PER CONSTRUCTION PLANS
- 2 - CONSTRUCT FENCE PER CONSTRUCTION PLANS
- 3 - FUTURE PAVED ACCESS ROAD (N.I.C.)
- 4 - BENCH & AMENITIES PER CONSTRUCTION PLANS
- 5 - SOIL MITIGATION AS REQUIRED PER SOIL MANAGEMENT PLAN & LANDSCAPE PLANS. SEE SHEET C1.1 FOR ADDITIONAL INFORMATION. REMOVE EXISTING SOIL TO A DEPTH 2'-FT BELOW FINISHED GROUND. REPLACE WITH COMPACTED 'CLEAN' ON-SITE OR IMPORT SOIL. REMOVED SOIL SHALL BE PRIMARY SOURCE OF EARTHWORK FILL MATERIAL.
- 6 - FITNESS AREA PER CONSTRUCTION PLANS
- 7 - DRINKING FOUNTAIN PER CONSTRUCTION PLANS
- 8 - ANIMAL SCULPTURE PER CONSTRUCTION PLANS & DETAIL 2, SHEET C3.6
- 13 - FURNISH & INSTALL TEMPORARY TRAIL CLOSURE SIGN. COORDINATE SIZE & WORDING WITH COUNTY PRIOR TO INSTALLATION AND START OF WORK

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**SITE GRADING**  
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SPEC. NO. 7188 | C.P. NO. 69253 | P200000655  
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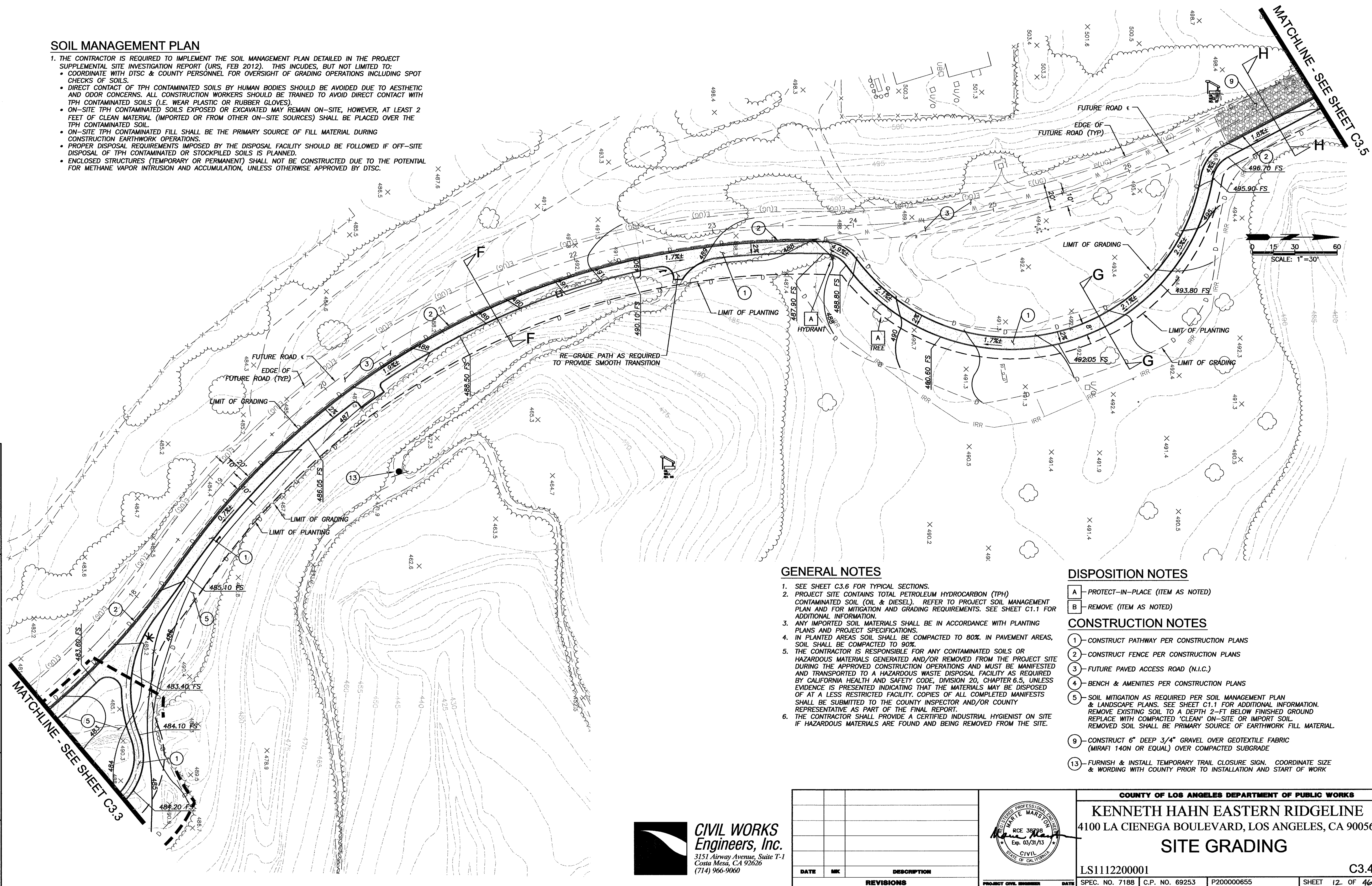
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# SOIL MANAGEMENT PLAN

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  - DIRECT CONTACT OF TPH CONTAMINATED SOILS BY HUMAN BODIES SHOULD BE AVOIDED DUE TO AESTHETIC AND ODOR CONCERNS. ALL CONSTRUCTION WORKERS SHOULD BE TRAINED TO AVOID DIRECT CONTACT WITH TPH CONTAMINATED SOILS (I.E. WEAR PLASTIC OR RUBBER GLOVES).
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  - ON-SITE TPH CONTAMINATED FILL SHALL BE THE PRIMARY SOURCE OF FILL MATERIAL DURING CONSTRUCTION EARTHWORK OPERATIONS.
  - PROPER DISPOSAL REQUIREMENTS IMPOSED BY THE DISPOSAL FACILITY SHOULD BE FOLLOWED IF OFF-SITE DISPOSAL OF TPH CONTAMINATED OR STOCKPILED SOILS IS PLANNED.
  - ENCLOSED STRUCTURES (TEMPORARY OR PERMANENT) SHALL NOT BE CONSTRUCTED DUE TO THE POTENTIAL FOR METHANE VAPOR INTRUSION AND ACCUMULATION, UNLESS OTHERWISE APPROVED BY DTSC.



## GENERAL NOTES

- SEE SHEET C3.6 FOR TYPICAL SECTIONS.
- PROJECT SITE CONTAINS TOTAL PETROLEUM HYDROCARBON (TPH) CONTAMINATED SOIL (OIL & DIESEL). REFER TO PROJECT SOIL MANAGEMENT PLAN AND FOR MITIGATION AND GRADING REQUIREMENTS. SEE SHEET C1.1 FOR ADDITIONAL INFORMATION.
- ANY IMPORTED SOIL MATERIALS SHALL BE IN ACCORDANCE WITH PLANTING PLANS AND PROJECT SPECIFICATIONS.
- IN PLANTED AREAS SOIL SHALL BE COMPACTED TO 80%. IN PAVEMENT AREAS, SOIL SHALL BE COMPACTED TO 90%.
- THE CONTRACTOR IS RESPONSIBLE FOR ANY CONTAMINATED SOILS OR HAZARDOUS MATERIALS GENERATED AND/OR REMOVED FROM THE PROJECT SITE DURING THE APPROVED CONSTRUCTION OPERATIONS AND MUST BE MANIFESTED AND TRANSPORTED TO A HAZARDOUS WASTE DISPOSAL FACILITY AS REQUIRED BY CALIFORNIA HEALTH AND SAFETY CODE, DIVISION 20, CHAPTER 6.5, UNLESS EVIDENCE IS PRESENTED INDICATING THAT THE MATERIALS MAY BE DISPOSED OF AT A LESS RESTRICTED FACILITY. COPIES OF ALL COMPLETED MANIFESTS SHALL BE SUBMITTED TO THE COUNTY INSPECTOR AND/OR COUNTY REPRESENTATIVE AS PART OF THE FINAL REPORT.
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## DISPOSITION NOTES

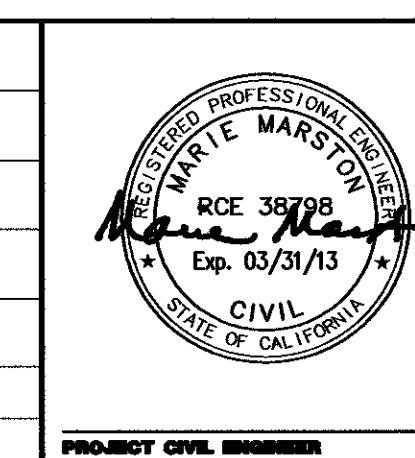
- A - PROTECT-IN-PLACE (ITEM AS NOTED)  
B - REMOVE (ITEM AS NOTED)

## CONSTRUCTION NOTES

- CONSTRUCT PATHWAY PER CONSTRUCTION PLANS
- CONSTRUCT FENCE PER CONSTRUCTION PLANS
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- BENCH & AMENITIES PER CONSTRUCTION PLANS
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- CONSTRUCT 6" DEEP 3/4" GRAVEL OVER GEOTEXTILE FABRIC (MIRAFI 140N OR EQUAL) OVER COMPACTED SUBGRADE
- FURNISH & INSTALL TEMPORARY TRAIL CLOSURE SIGN. COORDINATE SIZE & WORDING WITH COUNTY PRIOR TO INSTALLATION AND START OF WORK

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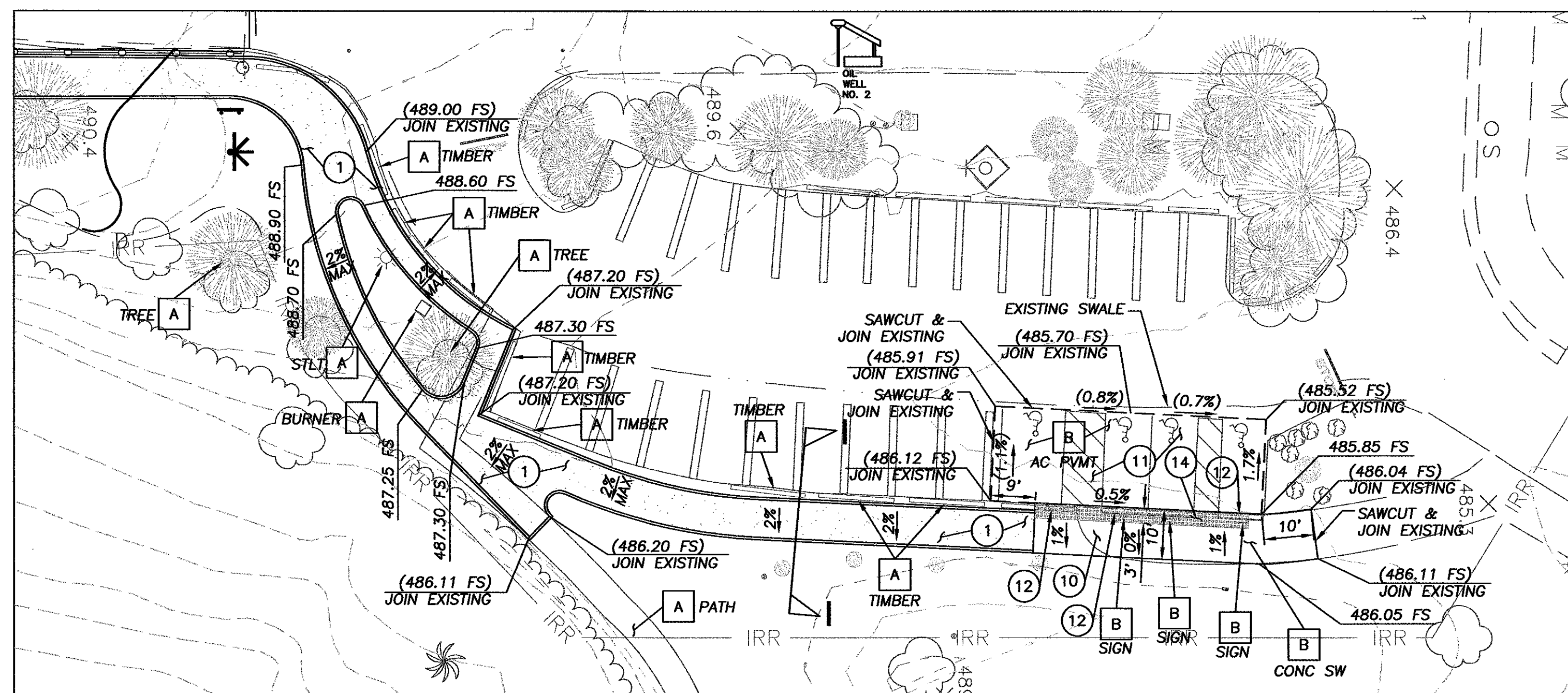
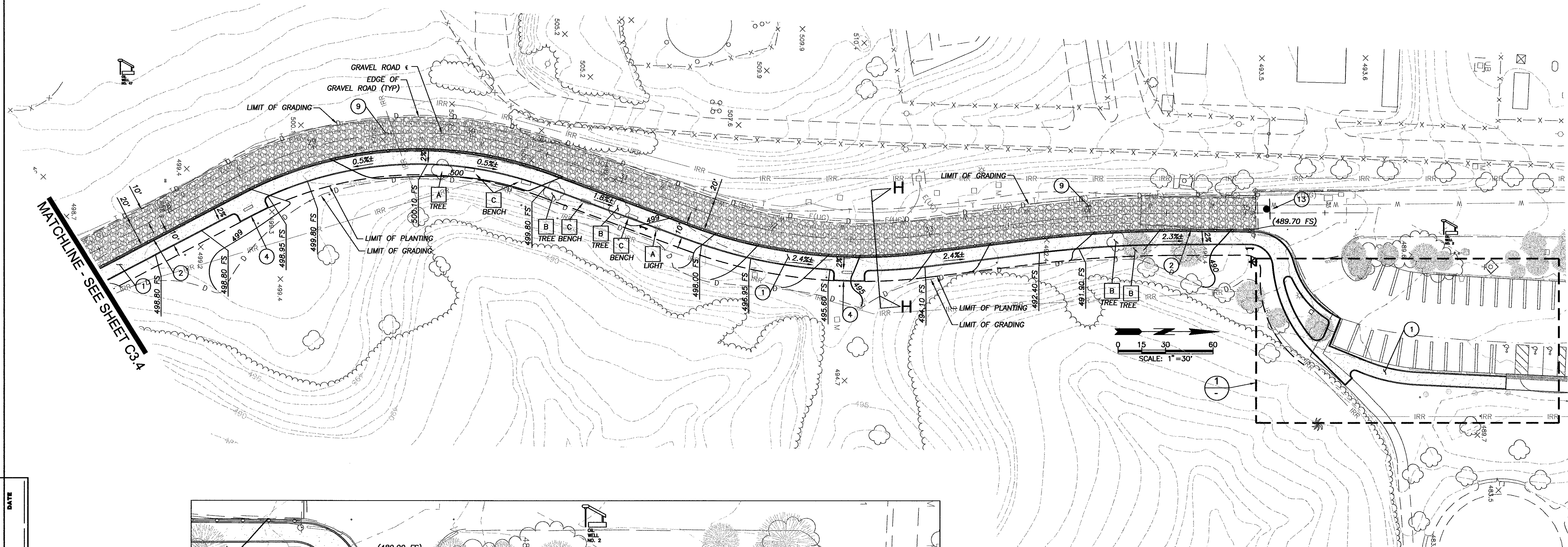


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ACCESSIBLE PARKING AREA GRADING 1  
SCALE: 1"=20'

#### GENERAL NOTES

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- ANY IMPORTED SOIL MATERIALS SHALL BE IN ACCORDANCE WITH PLANTING PLANS AND PROJECT SPECIFICATIONS.
- IN PLANTED AREAS SOIL SHALL BE COMPACTED TO 80% IN PAVEMENT AREAS, SOIL SHALL BE COMPACTED TO 90%.
- THE CONTRACTOR IS RESPONSIBLE FOR ANY CONTAMINATED SOILS OR HAZARDOUS MATERIALS GENERATED AND/OR REMOVED FROM THE PROJECT SITE DURING THE APPROVED CONSTRUCTION OPERATIONS AND MUST BE MANIFESTED AND TRANSPORTED TO A HAZARDOUS WASTE DISPOSAL FACILITY AS REQUIRED BY CALIFORNIA HEALTH AND SAFETY CODE, DIVISION 20, CHAPTER 6.5, UNLESS EVIDENCE IS PRESENTED INDICATING THAT THE MATERIALS MAY BE DISPOSED OF AT A LESS RESTRICTED FACILITY. COPIES OF ALL COMPLETED MANIFESTS SHALL BE SUBMITTED TO THE COUNTY INSPECTOR AND/OR COUNTY REPRESENTATIVE AS PART OF THE FINAL REPORT.
- THE CONTRACTOR SHALL PROVIDE A CERTIFIED INDUSTRIAL HYGIENIST ON SITE IF HAZARDOUS MATERIALS ARE FOUND AND BEING REMOVED FROM THE SITE.

#### DISPOSITION NOTES

- A - PROTECT-IN-PLACE (ITEM AS NOTED)
- B - REMOVE (ITEM AS NOTED)

#### ACCESSIBILITY NOTES

- TRUNCATED DOME WARNING SURFACE SHALL CONSIST OF RAISED DOMES WITH A DIAMETER OF NOMINAL 0.9 INCH AT THE BASE, TAPERING TO 0.45 INCH AT THE TOP, A HEIGHT OF NOMINAL 0.2 INCH, AND A CENTER TO CENTER SPACING OF NOMINAL 2.35 INCHES, IN COMPLIANCE WITH CURRENT CBC ACCESSIBILITY STANDARDS AND REQUIREMENTS.

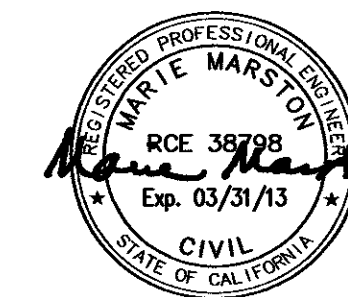
#### DISPOSITION NOTES

- A - PROTECT-IN-PLACE (ITEM AS NOTED)
- B - REMOVE (ITEM AS NOTED)
- C - SALVAGE TO COUNTY (ITEM AS NOTED)

#### CONSTRUCTION NOTES

- CONSTRUCT PATHWAY PER CONSTRUCTION PLANS
- CONSTRUCT FENCE PER CONSTRUCTION PLANS
- FUTURE PAVED ACCESS ROAD (N.I.C.)
- BENCH & AMENITIES PER CONSTRUCTION PLANS
- CONSTRUCT 6" DEEP 3/4" GRAVEL OVER GEOTEXTILE FABRIC (MIRAFI 140N OR EQUAL) OVER COMPACTED SUBGRADE
- CONSTRUCT 4" THICK PCC SIDEWALK OVER COMPACTED SUBGRADE (EJ 10' OC MAX)
- CONSTRUCT 6" THICK AC PAVEMENT OVER COMPACTED SUBGRADE
- REMOVE TIMBER BARRIER & RELOCATE ON-SITE PER COUNTY DIRECTION
- FURNISH & INSTALL TEMPORARY TRAIL CLOSURE SIGN. COORDINATE SIZE & WORDING WITH COUNTY PRIOR TO INSTALLATION AND START OF WORK
- FURNISH & INSTALL WARNING SURFACE TRUNCATED DOMES (CAST-IN-PLACE, BLACK COLOR)

**CIVIL WORKS**  
Engineers, Inc.  
3151 Airway Avenue, Suite T-1  
Costa Mesa, CA 92626  
(714) 966-9000



COUNTY OF LOS ANGELES DEPARTMENT OF PUBLIC WORKS  
**KENNETH HAHN EASTERN RIDGELINE**  
4100 LA CIENEGA BOULEVARD, LOS ANGELES, CA 90056  
**SITE GRADING**  
LS1112200001  
SPEC. NO. 7188 C.P. NO. 69253 P200000655 SHEET 13 OF 46  
C3.5





1. ALL EXPOSED CORNERS ON PCC CURBS SHALL BE ROUNDED WITH A 1/2" RADIUS
2. CONSTRUCT WEAKENED PLANE JOINTS @ TOP & FRONT FACE @ 20' O.C. MAX
3. CONCRETE SHALL BE 520-C-2500



**A** — PROTECT-IN-PLACE (ITEM AS NOTED)

**B** — REMOVE (ITEM AS NOTED)

- ① CONSTRUCT PATHWAY PER CONSTRUCTION PLANS
- ② CONSTRUCT FENCE PER CONSTRUCTION PLANS
- ③ FUTURE PAVED ACCESS ROAD (N.I.C.)
- ④ BENCH & AMENITIES PER CONSTRUCTION PLANS
- ⑤ SOIL MITIGATION AS REQUIRED PER SOIL MANAGEMENT PLAN & LANDSCAPE PLANS. SEE SHEET C1.1 FOR ADDITIONAL INFORMATION. REMOVE EXISTING SOIL TO A DEPTH 2'-FT BELOW FINISHED GROUND REPLACE WITH COMPACTED "CLEAN" ON-SITE OR IMPORT SOIL. REMOVED SOIL SHALL BE PRIMARY SOURCE OF EARTHWORK FILL MATERIAL.
- ⑨ CONSTRUCT 6" DEEP GRAVEL OVER GEOTEXTILE FABRIC (MIRAFI 140N OR EQUAL) OVER COMPACTED SUBGRADE
- ⑮ CONSTRUCT PCC GUTTER PER DETAIL 1, SHEET C3.6

REGISTERED PROFESSIONAL ENGINEER  
MARIE MARSTON  
RCE 38798  
Exp. 03/31/13  
CIVIL  
STATE OF CALIFORNIA

## SITE GRADING DETAILS

### C3.6

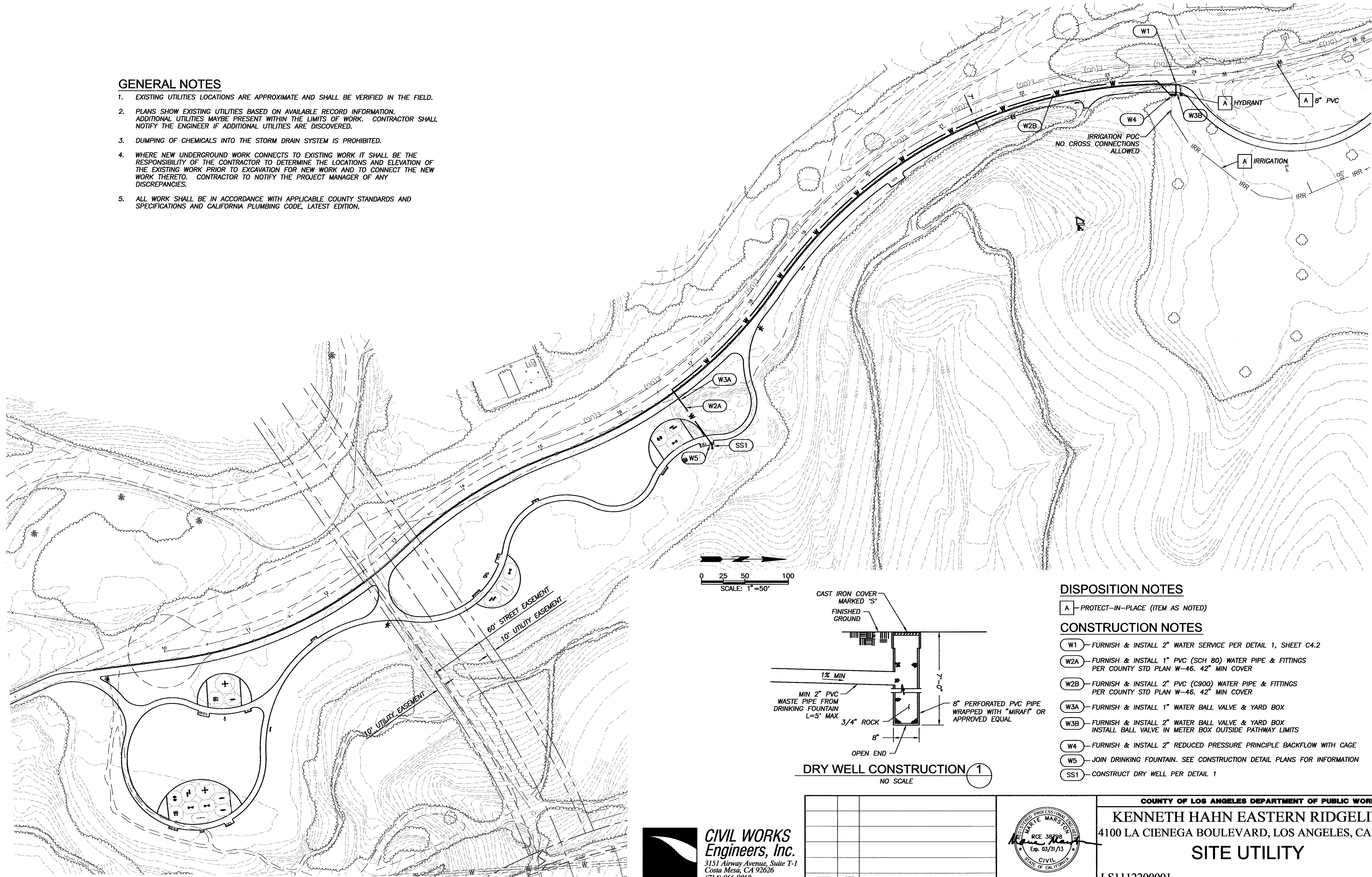
SPEC. NO. 7188	C.P. NO. 69253	P200000655
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SHEET 14 OF 46

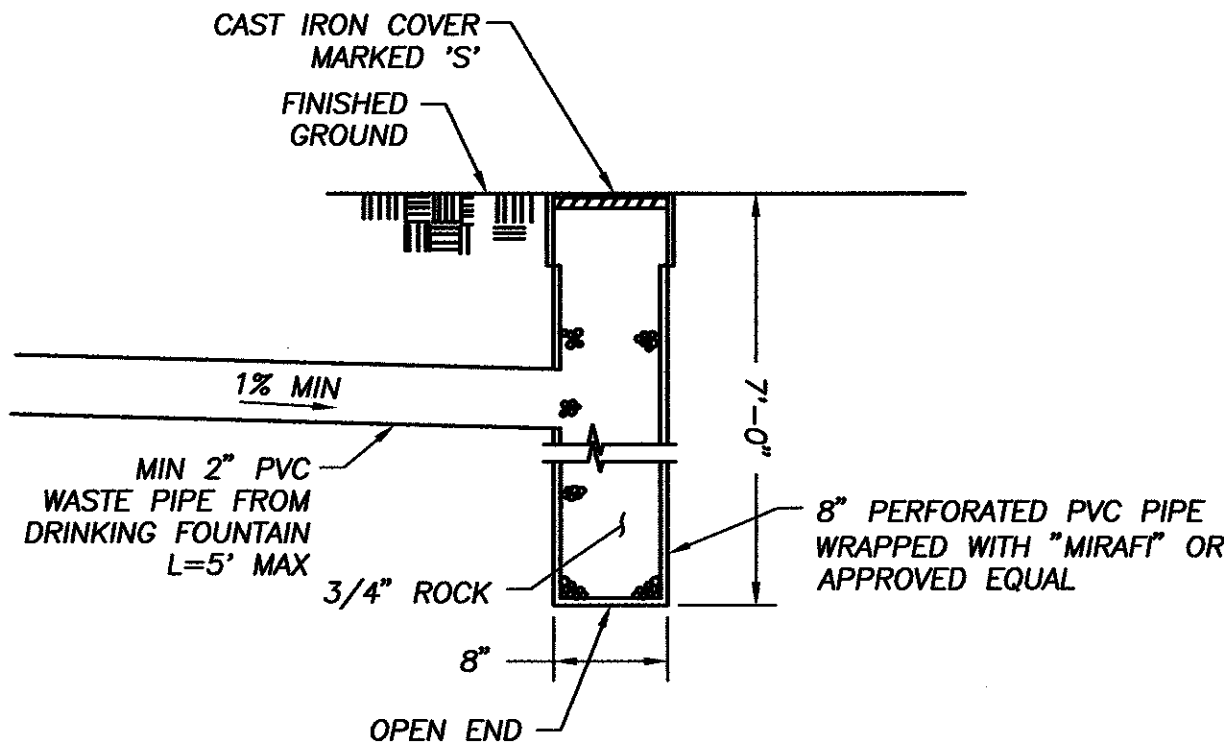


GENERAL NOTES

- EXISTING UTILITIES LOCATIONS ARE APPROXIMATE AND SHALL BE VERIFIED IN THE FIELD.
- PLANS SHOW EXISTING UTILITIES BASED ON AVAILABLE RECORD INFORMATION. ADDITIONAL UTILITIES MAYBE PRESENT WITHIN THE LIMITS OF WORK. CONTRACTOR SHALL NOTIFY THE ENGINEER IF ADDITIONAL UTILITIES ARE DISCOVERED.
- DUMPING OF CHEMICALS INTO THE STORM DRAIN SYSTEM IS PROHIBITED.
- WHERE NEW UNDERGROUND WORK CONNECTS TO EXISTING WORK IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE LOCATIONS AND ELEVATION OF THE EXISTING WORK PRIOR TO EXCAVATION FOR NEW WORK AND TO CONNECT THE NEW WORK THERETO. CONTRACTOR TO NOTIFY THE PROJECT MANAGER OF ANY DISCREPANCIES.
- ALL WORK SHALL BE IN ACCORDANCE WITH APPLICABLE COUNTY STANDARDS AND SPECIFICATIONS AND CALIFORNIA PLUMBING CODE, LATEST EDITION.



SCALE: 1"=50'



DRY WELL CONSTRUCTION 1  
NO SCALE

DISPOSITION NOTES

- A - PROTECT-IN-PLACE (ITEM AS NOTED)

CONSTRUCTION NOTES

- W1 - FURNISH & INSTALL 2" WATER SERVICE PER DETAIL 1, SHEET C4.2
- W2A - FURNISH & INSTALL 1" PVC (SCH 80) WATER PIPE & FITTINGS PER COUNTY STD PLAN W-46. 42" MIN COVER
- W2B - FURNISH & INSTALL 2" PVC (C900) WATER PIPE & FITTINGS PER COUNTY STD PLAN W-46. 42" MIN COVER
- W3A - FURNISH & INSTALL 1" WATER BALL VALVE & YARD BOX
- W3B - FURNISH & INSTALL 2" WATER BALL VALVE & YARD BOX. INSTALL BALL VALVE IN METER BOX OUTSIDE PATHWAY LIMITS
- W4 - FURNISH & INSTALL 2" REDUCED PRESSURE PRINCIPLE BACKFLOW WITH CAGE
- W5 - JOIN DRINKING FOUNTAIN. SEE CONSTRUCTION DETAIL PLANS FOR INFORMATION
- SS1 - CONSTRUCT DRY WELL PER DETAIL 1

**CIVIL WORKS Engineers, Inc.**  
3151 Airway Avenue, Suite T-1  
Costa Mesa, CA 92626  
(714) 966-9060



COUNTY OF LOS ANGELES DEPARTMENT OF PUBLIC WORKS  
**KENNETH HAHN EASTERN RIDGELINE**  
4100 LA CIENEGA BOULEVARD, LOS ANGELES, CA 90056  
**SITE UTILITY**

LS1112200001

C4.1

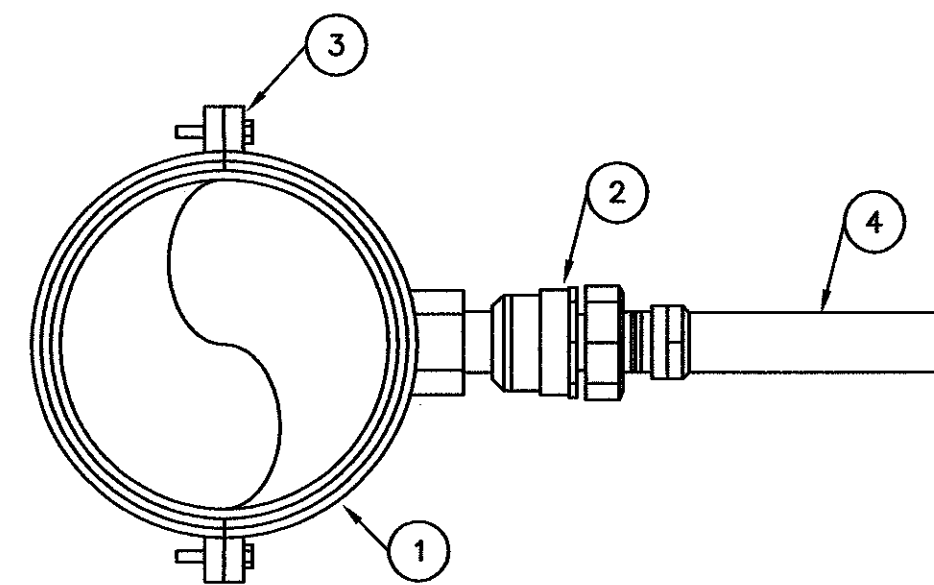
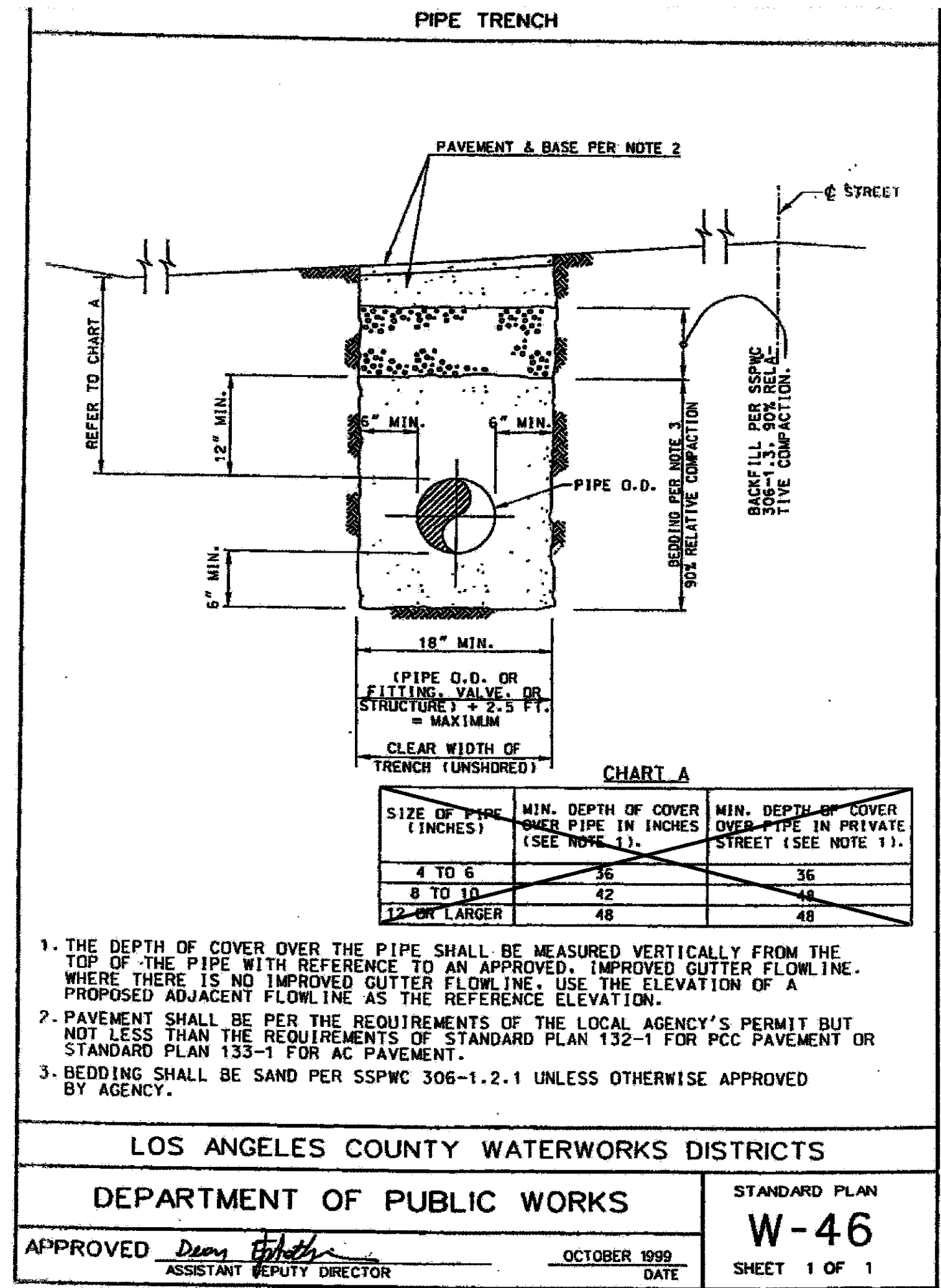
DATE	BY	DESCRIPTION
REVISIONS		

SPEC. NO. 7188 C.P. NO. 69253 P200000655 SHEET 15 OF 46

DATE PRINTED: 7/24/12



DRAFTER  
DESIGNER  
CHECKER  
CADD PROJECT FILE NAME  
REVIEWED BY  
DATE



#### CONSTRUCTION NOTES

- 1- 2-PIECE BRONZE SERVICE SADDLE FOR PVC PIPE WITH 2" F.I.P.T. OUTLET
- 2- 2" BRONZE BALL CORPORATION STOP
- 3- TYPE 316 STAINLESS STEEL SADDLE BOLTS AND NUTS
- 4- PVC PIPE PER PLAN

#### GENERAL NOTES

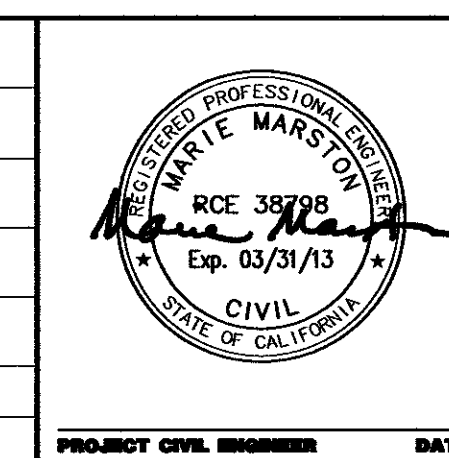
1. MATERIALS SHALL BE IN ACCORDANCE WITH AWWA C800, "UNDERGROUND SERVICE LINE VALVES AND FITTINGS".
2. ALL MATERIALS AND FITTINGS SHALL BE COMPATIBLE WITH CONNECTION TO PVC PIPE.

#### WATER SERVICE CONNECTION 1

NO SCALE

 **CIVIL WORKS**  
**Engineers, Inc.**  
3151 Airway Avenue, Suite T-1  
Costa Mesa, CA 92626  
(714) 966-9060

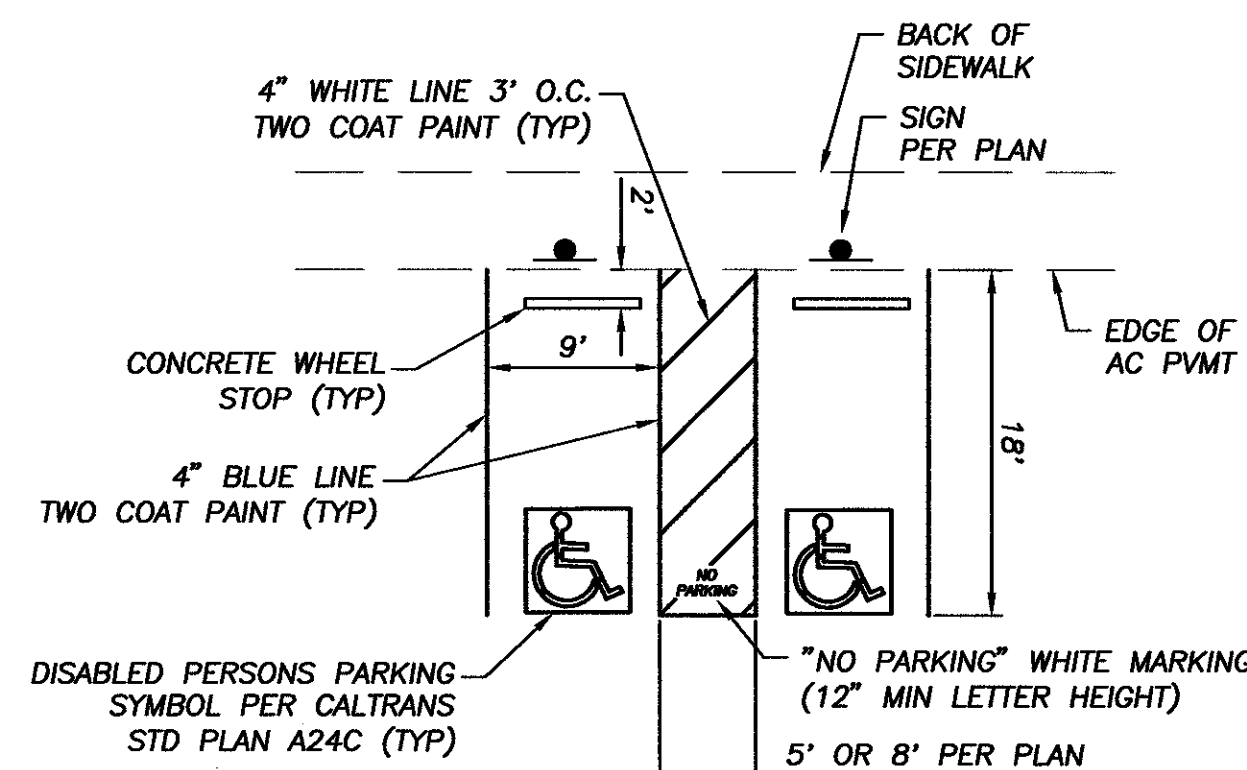
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REVISIONS		



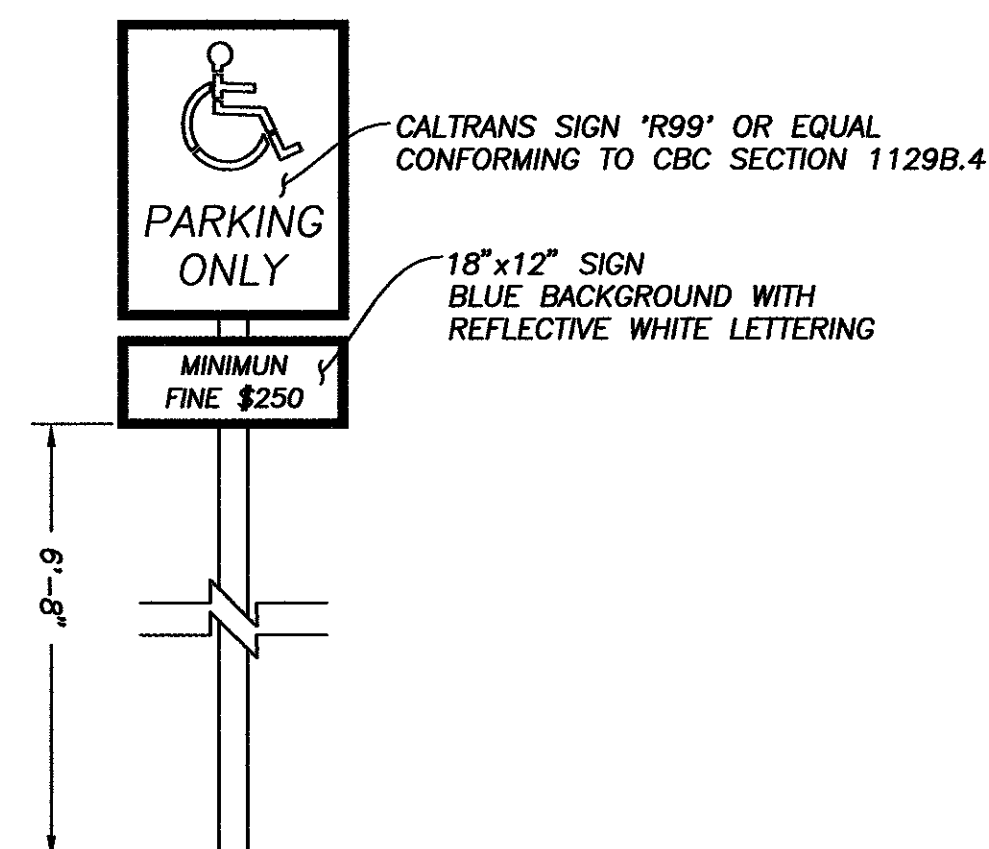
COUNTY OF LOS ANGELES DEPARTMENT OF PUBLIC WORKS				
KENNETH HAHN EASTERN RIDGELINE				
4100 LA CIENEGA BOULEVARD, LOS ANGELES, CA 90056				
SITE UTILITY DETAILS				
LS1112200001				
PROJECT CIVIL ENGINEER	DATE	SPEC. NO. 7188	C.P. NO. 69253	P200000655
SHEET 16 OF 46				C4.2

DATE PRINTED: 7/24/12

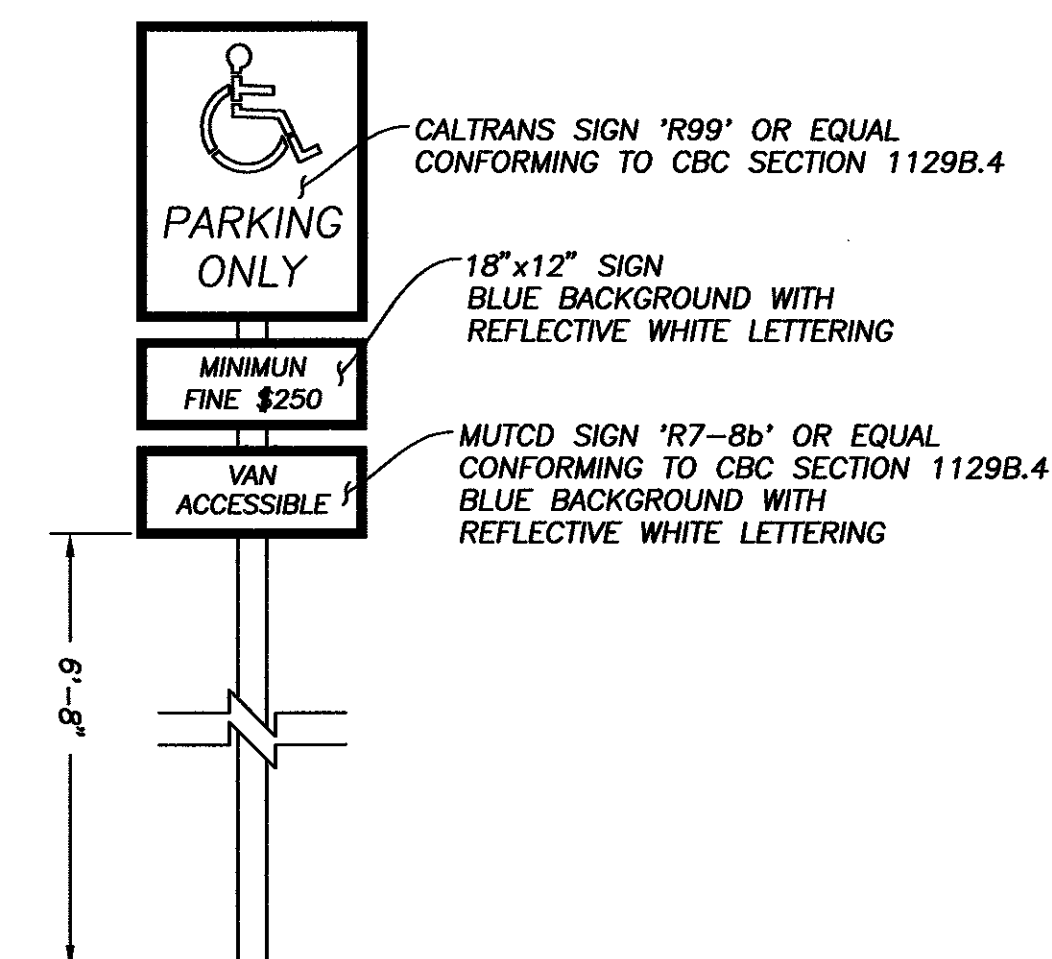




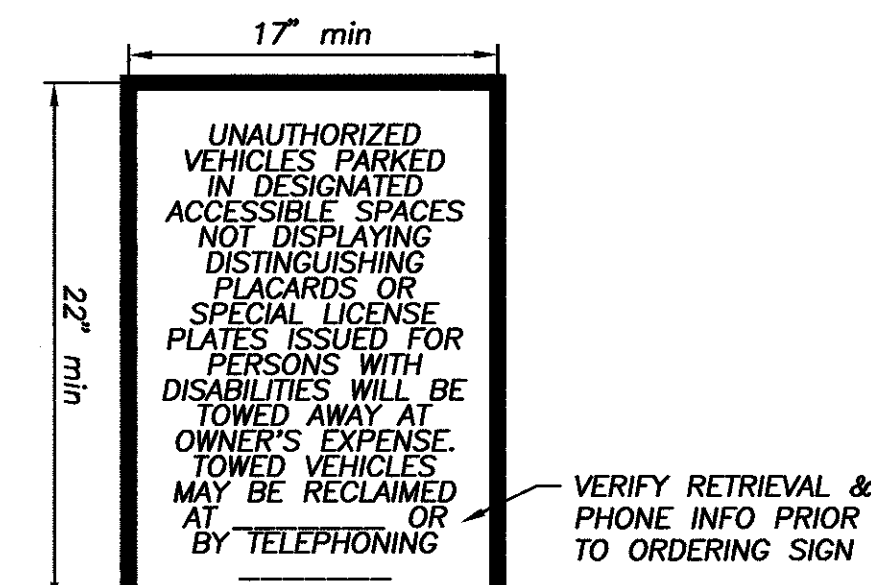
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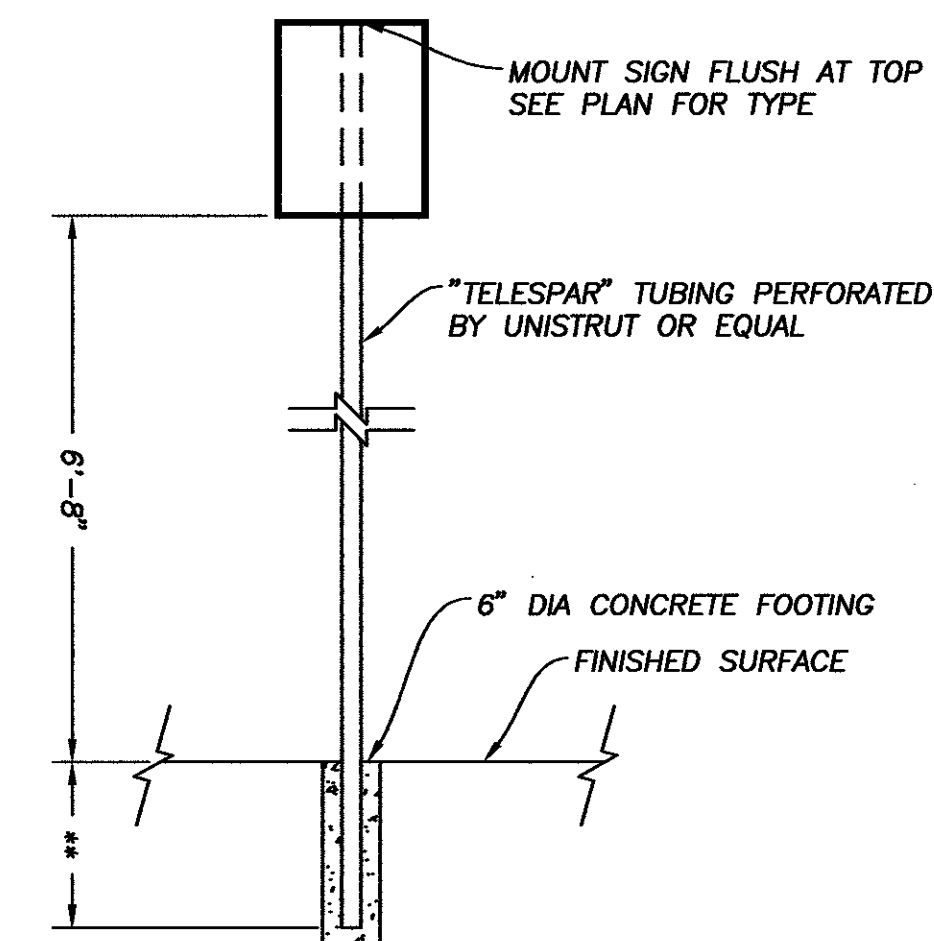
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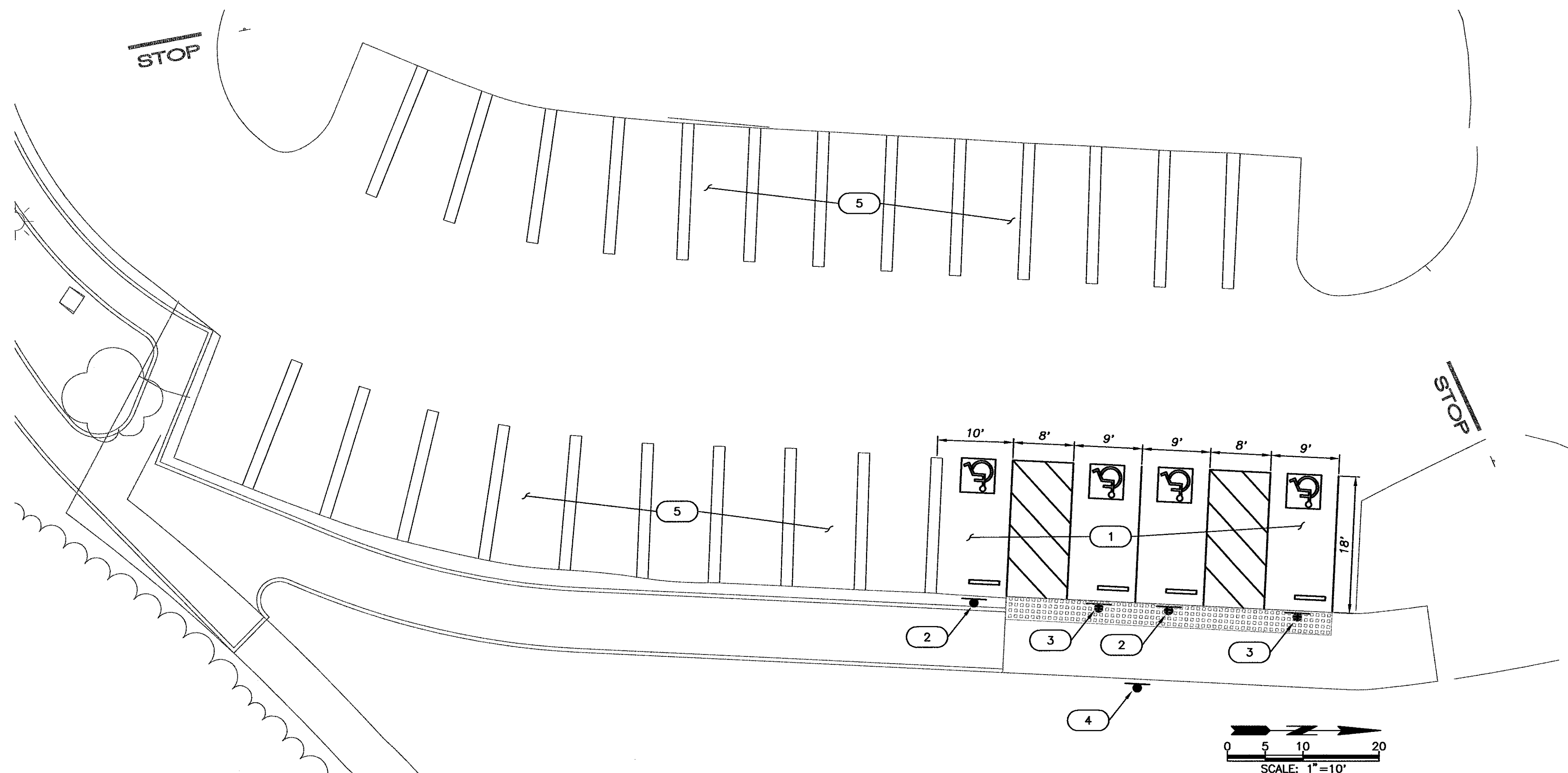
**TYPICAL VAN ACCESSIBLE SIGN ③**  
NO SCALE



**AUTHORIZED VEHICLE SIGN ④**  
NO SCALE



**TYPICAL SIGN & POST INSTALLATION ⑤**  
\*\* = 30" FOR LANDSCAPE AREAS  
24" FOR HARDSCAPE AREAS  
NO SCALE



### STRIPING GENERAL NOTES

1. ACCESSIBLE PARKING STALLS & SIGNS SHALL CONFORM TO THE REQUIREMENTS OF THE 2007 CALIFORNIA BUILDING CODE, TITLE 24.
2. MISCELLANEOUS PAVEMENT STRIPING, MARKINGS, AND SIGNS SHALL CONFORM TO THE LATEST EDITION OF THE STATE OF CALIFORNIA DEPARTMENT OF TRANSPORTATION (CALTRANS) STANDARD PLANS AND SPECIFICATIONS.
3. PROJECT SIGNS SHALL CONFORM TO THE LATEST EDITION OF THE CALIFORNIA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD)
4. EXISTING STRIPING AND MARKINGS TO REMAIN, BUT IMPACTED BY CONSTRUCTION SHALL BE REPLACED IN KIND TO THE SATISFACTION OF THE COUNTY.

### STRIPING CONSTRUCTION NOTES

- ① - INSTALL ACCESSIBLE PARKING STALL PER DETAIL 1
- ② - FURNISH & INSTALL SIGN & POST PER DETAIL 2
- ③ - FURNISH & INSTALL SIGN & POST PER DETAIL 3
- ④ - FURNISH & INSTALL SIGN & POST PER DETAIL 4
- ⑤ - PROTECT EXISTING STRIPING

**CIVIL WORKS**  
*Engineers, Inc.*  
3151 Airway Avenue, Suite T-1  
Costa Mesa, CA 92626  
(714) 966-9060

DATE	BY	DESCRIPTION



COUNTY OF LOS ANGELES DEPARTMENT OF PUBLIC WORKS			
KENNETH HAHN EASTERN RIDGELINE			
4100 LA CIENEGA BOULEVARD, LOS ANGELES, CA 90056			
SIGNING & STRIPING			
LS1112200001			
C5.1			
SPEC. NO. 7188	C.P. NO. 69253	P200000655	SHEET 17 OF 46

DATE PRINTED: 7/24/12





LANDSCAPE PLANS FOR  
KENNETH HAHN EASTERN RIDGELINE  
4100 LA CIENEGA BOULEVARD,  
LOS ANGELES, CA 90056  
PROJECT ID NO. P200000655  
C.P. 69253, SPEC. NO. 7188

PROPERTY ADDRESS: 4100 LA CIENEGA BOULEVARD  
BALDWIN HILLS, CA 90056

PROPERTY OWNER: STATE OF CALIFORNIA

SITE OPERATED &amp; MAINTAINED BY:

COUNTY OF LOS ANGELES DEPARTMENT OF PUBLIC WORKS  
DEPARTMENT OF PARKS AND RECREATION  
433 S. VERNON AVENUE  
LOS ANGELES, CA 90020

ASSESSORS ID NO.: 5029-020-904

PROPERTY ZONING: A-2

INTENDED LAND USE: PUBLIC PARK

LEGAL DESCRIPTION: THAT PORTION OF THE RANCHO CIENEGA O' PASO DE LA TIJERA, LOS ANGELES, STATE OF CALIFORNIA, AS SHOWN ON MAP RECORDED IN B PATENTS IN THE OFFICE OF THE REGISTRAR-RECORDER OF SAID COUNTY

**WATER PURVEYOR**  
**LOS ANGELES DEPARTMENT OF WATER AND POWER**  
**111 SOUTH HOPE STREET,**  
**LOS ANGELES, CA 90012**  
**(213) 367-3470**

FUEL MODIFICATION PLAN IS NOT  
REQUIRED PER MANNY MOSHREFI  
EAST REGION GLENDORA  
STATION #151  
231 W. MOUNTAIN VIEW AVE.  
GLENDORA, CA 91741  
626-963-5564

**SOIL NOTE:**  
THE EXISTING SOIL IS NOT SUITABLE FOR THE TYPE OF PLANTING DESIGNED FOR THE KENNETH HAHN EASTERN RIDGELINE.  
THE EXISTING AND IMPORTED SOILS SHALL BE TESTED IN ORDER TO GENERATE THE SOILS MANAGEMENT REPORT. ONCE OBTAINED, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO SUBMIT THE SOILS MANAGEMENT REPORT TO THE LAND DEVELOPMENT DIVISION FOR FINAL SOIL TYPE APPROVAL. THE APPROVED LANDSCAPE PLANS ARE TO BE REVISED AND RESUBMITTED TO LAND DEVELOPMENT DIVISION TO INCORPORATE ANY MITIGATIONS REQUIRED PER THE SOILS MANAGEMENT REPORT PRIOR TO THE START OF LANDSCAPE CONSTRUCTION.

**SOIL REPORT NOTE:**  
**PROPOSE ON AMENDMENTS AS STATED IN THE SPECIFICATIONS.**  
**CONTRACTOR SHALL PAY FOR AND OBTAIN AGRICULTURAL SOILS AND**  
**HERBICIDE TESTING AND RECOMMENDATIONS AFTER GRADING OPERATIONS**  
**AND PRIOR TO PLANT INSTALLATION. IN ADDITION, CONTRACTOR SHALL**  
**REFER TO SECTION 02900 - PLANTING SPECIFICATIONS, PART 1 - GENERAL,**  
**ARTICLE 1.02 SUBMITTALS FOR ADDITIONAL INFORMATION.**

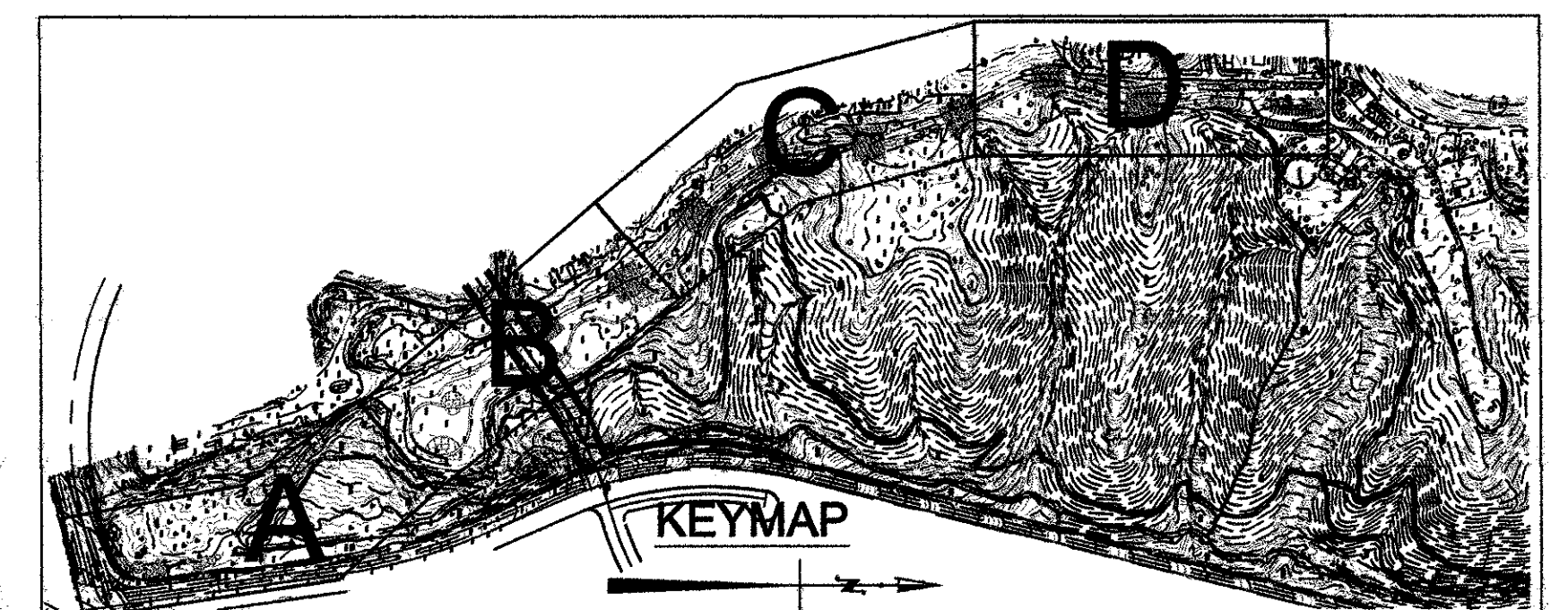
**SIGNATURE BLOCK:**

SUBMITTED

GUILLERMO NAJAF

COUNTY OF LOS ANGELES  
DEPARTMENT OF PARKS AND RECREATION  
433 S. VERNON AVENUE LOS ANGELES, CA 9002

7/26/12



25,830 S.F. - TOTAL SPECIAL LANDSCAPE AREA W/ MODIFIED IRRIGATION  
140,905 S.F. - TOTAL LANDSCAPE AREA W/ IRRIGATION  
18,850 S.F. - TOTAL LANDSCAPE AREA W/ TEMPORARY IRRIGATION

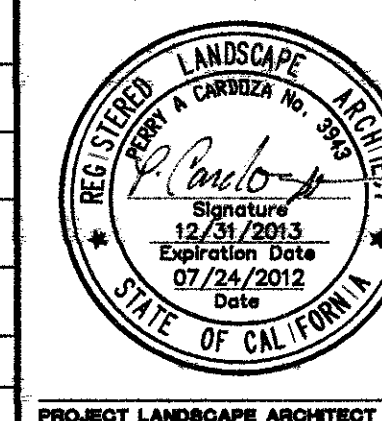
SHEET INDEX:	
SHEET	TITLE
LCV-A	LANDSCAPE TITLE SHEET
L-01	CONSTRUCTION PLAN - SHEET A
L-02	CONSTRUCTION PLAN - SHEET B
L-03	CONSTRUCTION PLAN - SHEET C
L-04	CONSTRUCTION PLAN - SHEET D
L-05	CONSTRUCTION DETAILS
L-06	CONSTRUCTION DETAILS
L-07	CONSTRUCTION DETAILS
L-08	CONSTRUCTION DETAILS
L-09	IRRIGATION PLAN - SHEET A
L-10	IRRIGATION PLAN - SHEET B
L-11	IRRIGATION PLAN - SHEET B
L-12	IRRIGATION PLAN - SHEET D
L-13	IRRIGATION LEGEND & NOTES
L-14	IRRIGATION DETAILS
L-15	IRRIGATION DETAILS
L-16	IRRIGATION WATER CALCULATIONS
L-17	IRRIGATION WATER SCHEDULES FOR ESTABLISHMENT
L-18	IRRIGATION WATER SCHEDULES AFTER ESTABLISHMENT
L-19	PLANTING PLAN - SHEET A
L-20	PLANTING PLAN - SHEET B
L-21	PLANTING PLAN - SHEET C
L-22	PLANTING PLAN - SHEET D
L-23	PLANT LIST
L-24	PLANTING NOTES & DETAILS
I-8	ORIGINAL LANDSCAPE IRRIGATION AND LAKE IMPROVEMENTS - REFERENCE ONLY
I-9	ORIGINAL LANDSCAPE IRRIGATION AND LAKE IMPROVEMENTS - REFERENCE ONLY

## PROJECT PARTICIPANTS

**LANDSCAPE ARCHITECT - TOM MUNOZ**  
**NUVIS**  
 3151 AIRWAY AVE, SUITE J-3  
 COSTA MESA, CA 92626  
 (714) 754-7311

**CIVIL ENGINEER - DAVID GRANTHAM**  
**CIVIL WORKS ENGINEERS, INC.**  
 3151 AIRWAY AVE, SUITE T-1  
 COSTA MESA, CA 92626 (714) 966-9060

**IRRIGATION - JANET LUEHRS**  
**BROOKWATER**  
**FIVE CROW CANYON COURT, SUITE 209**  
**SAN RAMON, CA 94583 (925) 855-0357**

[illegible]

COUNTY OF LOS ANGELES DEPARTMENT OF PUBLIC WORKS			
<h1 style="margin: 0;">KENNETH HAHN EASTERN RIDGELINE</h1> <p style="margin: 0;">4100 LA CIENEGA BOULEVARD, LOS ANGELES, CA 90056</p> <h2 style="margin: 0;">TITLE SHEET (LANDSCAPE ONLY)</h2>			
LS1112200001			LCV-A
SPEC. NO. 718B	G.P. NO. 69253	P200000655	SHEET 18 OF 46



- (1) STABILIZED DECOMPOSED GRANITE (PEDESTRIAN) REFER TO DETAIL 'A', SHT L-05
- (2) 42" HIGH, 2 RAIL CONTROL FENCE - REFER TO DETAIL 'C', SHEET L-05
- (3) BENCH - REFER TO SITE AMENITY LIST
- (4) TRASH RECEPTACLE - REFER TO SITE AMENITY LIST
- (5) ANIMAL SCULPTURE - REFER TO DETAILS 'F', 'G', & 'H'. SHEET L-05
- (6) FITNESS AREA A - REFER TO DETAIL 'A'. SHEET L-07
- (7) FITNESS AREA B - REFER TO DETAIL 'B'. SHEET L-07
- (8) FITNESS AREA C - REFER TO DETAIL 'C'. SHEET L-07
- (9) FITNESS AREA D - REFER TO DETAIL 'D'. SHEET L-07
- (10) REFER TO CIVIL PLANS FOR ADA PATH OF TRAVEL PLAN
- (11) EXISTING PARKING - REFER TO CIVIL PLAN
- (12) EXISTING BENCH SHALL REMOVED AND SALVAGED - REFER TO NOTES
- (13) EXISTING DECOMPOSED GRANITE PATH SHALL REMAIN & BE PROTECTED
- (14) EXISTING FENCE SHALL REMAIN & BE PROTECTED
- (15) EXISTING TREE SHALL REMAIN & BE PROTECTED
- (16) EXISTING TOT-LOT SHALL REMAIN & BE PROTECTED
- (17) EXISTING TRAIL SHALL REMAIN & BE PROTECTED
- (18) EXISTING TRAIL SHALL BE RE-GRADED WHERE NOTED PER CIVIL PLANS
- (19) DRINKING FOUNTAIN - REFER TO SITE AMENITY LIST & DETAIL 'F'. SHEET L-06
- (20) EXISTING IRRIGATION EQUIPMENT SHALL REMAIN & BE PROTECTED
- (21) EXISTING ASPHALT ROAD SHALL REMAIN & BE PROTECTED
- (22) UNLESS OTHERWISE NOTED, EXISTING TURF SHALL REMAIN & BE PROTECTED
- (23) STEEL EDGING - REFER TO DETAIL 'G', SHEET L-08
- (24) PARK DIRECTIONAL / INFORMATIONAL SIGN - REFER TO DETAIL 'C', SHT L-06
- (25) MILE MARKER - REFER TO DETAIL 'B', SHEET L-06
- (26) 42" HIGH, 3 RAIL CONTROL FENCE - REFER TO DETAIL 'D', SHEET L-05
- (27) STABILIZED DECOMPOSED GRANITE (VEHICULAR) - REFER TO DETAIL 'A', SHEET L-05. REFER TO CIVIL PLANS FOR ADDITIONAL TRAIL LAYOUT INFO.
- (28) EXISTING IRRIGATION CONTROLLER, ELECTRICAL ENCLOSURE, AND ELECTRICAL POWER SUPPLY SHALL REMAIN & BE PROTECTED
- (29) EXISTING FIRE HYDRANT SHALL REMAIN & BE PROTECTED
- (30) EXISTING TREES SHALL BE REMOVED. UNLESS OTHERWISE NOTED, ALL EXISTING TREES SHALL REMAIN & BE PROTECTED
- (31) PILASTER - REFER TO DETAIL 'A', SHEET L-08
- (32) STANDARD PIPE GATE FOR ACCESS ROAD - REFER TO DETAIL 'B', SHEET L-06
- (33) EXISTING STREET LIGHTS SHALL REMAIN & BE PROTECTED
- (34) PILASTER - REFER TO DETAIL 'C', SHEET L-08
- (35) EXISTING SIGN AND GUY WIRES SHALL REMAIN & BE PROTECTED
- (36) UNLESS OTHERWISE NOTED EXISTING BRUSH SHALL REMAIN & BE PROTECTED
- (37) EXISTING OIL WELL SHALL REMAIN & BE PROTECTED
- (38) UNLESS OTHERWISE NOTED EXISTING UTILITIES SHALL REMAIN & BE PROTECTED
- (39) CONCRETE PAVING - REFER TO DETAIL 'G', SHEET L-06

B	BENCH
DF	DRINKING FOUNTAIN
T	TRASH RECEPTACLE
	EXISTING CHAINLINK FENCE
	PROPERTY LINE
x 3335	EXISTING SPOT ELEVATION
	EXISTING CONTOUR LINES
	EXISTING PATH / ROAD
	EXISTING LIGHT
V	WATER VALVE
M	WATER METER
	EXISTING TREE
	EXISTING BRUSH
	DAYLIGHT LINE
	EXISTING OIL WELL

1. BENCH - BELSON BENCH MODEL NO. PB6-6GR24, WITH SAND COLORED PLANKS & BLACK COLORED FRAME. AVAILABLE FROM BELSON, 1-800-323-5664 OR AN APPROVED EQUAL.
2. TRASH RECEPTACLE - BELSON TRASH RECEPTACLE MODEL NO. SR3 WITH SAND COLORED SLATS & BLACK COLORED FRAME. REFER TO NOTE NO. 1 ABOVE FOR AVAILABILITY. REFER TO DETAIL 'A', SHEET L-06
3. DRINKING FOUNTAIN - MDF MODEL 440SM W/ AN ATTACHED PET FOUNTAIN, RAL # 6005 COLOR, SURFACE MOUNT. AVAILABLE FROM MOST DEPENDABLE FOUNTAIN, 1-800-552-6331, OR AN APPROVED EQUAL. REFER TO DETAIL 'E', SHEET L-05
4. SCULPTURE - REFER TO DETAILS HEREIN. AVAILABLE FROM CEMROCK LANDSCAPE, INC. 520-671-1999, OR AN APPROVED EQUAL
5. FITNESS EQUIPMENT - GREENFIELDS OUTDOOR FITNESS. AVAILABLE FROM MIRACLE PLAYGROUND, 1-800-264-7225 OR AN APPROVED EQUAL

REFER TO CIVIL PLANS FOR—  
CROSSWALK/PUSH BUTTON  
INFORMATION

SCALE: 1"=30'

NORTH ARROW

NOTES:

1. REFER TO CIVIL PLANS FOR HORIZONTAL CONTROL / LAYOUT OF SITE AMENITIES SHOWN & VERTICAL CONTROL.
2. MILE MARKERS & DIRECTIONAL SIGNS SHALL FACE PATHWAY & AS DIRECTED BY COUNTY INSPECTOR. FINAL LOCATION OF SIGNS / MARKERS SHALL BE REVIEWED & APPROVED BY THE COUNTY INSPECTOR PRIOR TO CONSTRUCTION

# A

ALIGN MOW STRIPS WITH  
CENTERLINE OF PILASTERS

## KEYMAP

**COUNTY OF LOS ANGELES DEPARTMENT OF PUBLIC WORKS**

**KENNETH HAHN EASTERN RIDGELINE**  
4100 LA CIENEGA BOULEVARD, LOS ANGELES, CA 90056

## CONSTRUCTION PLAN

LS1112200001

SPEC. NO. 7188 C.P. NO. 69253

P2000000655

L-01

( 2 OF 27 )



**NUVIS**  
LANDSCAPE ARCHITECTURE  
AND PLANNING

PROJECT LANDSCAPE ARCHITECT: BATES

SPEC. NO. 7188 C.P. NO. 69253

P2000000655

SHEET 19 OF 47



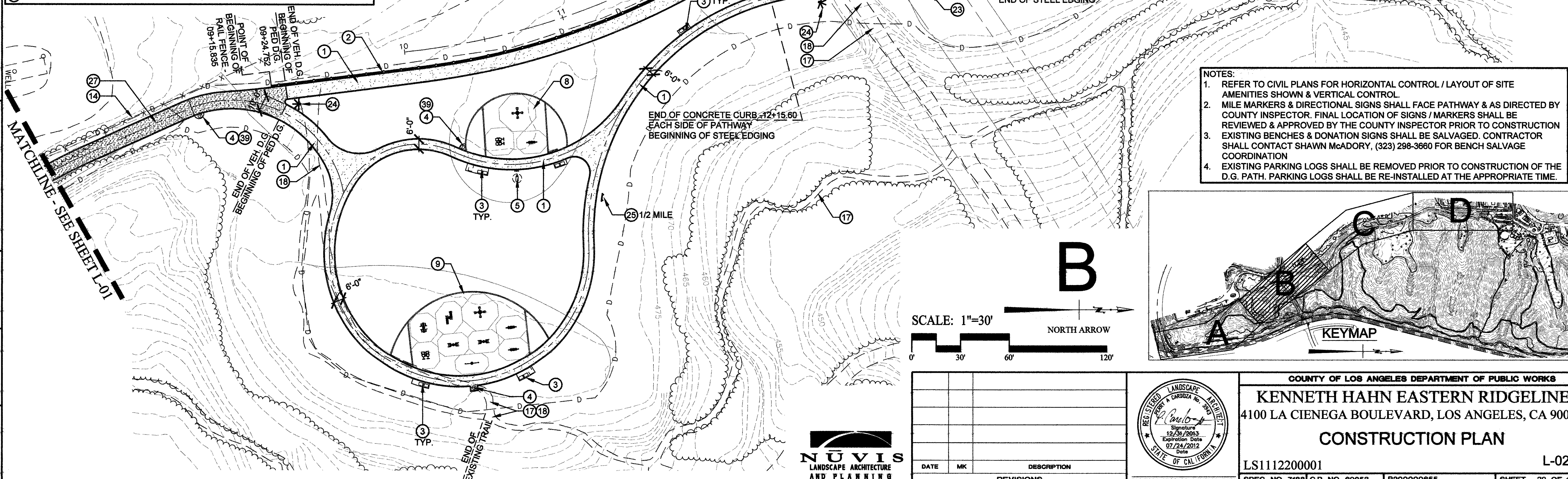
# CONSTRUCTION LEGEND

- 1 STABILIZED DECOMPOSED GRANITE (PEDESTRIAN) REFER TO DETAIL 'A', SHT L-05
- 2 42" HIGH, 2 RAIL CONTROL FENCE - REFER TO DETAIL 'C', SHEET L-05
- 3 BENCH - REFER TO SITE AMENITY LIST
- 4 TRASH RECEPTACLE - REFER TO SITE AMENITY LIST
- 5 ANIMAL SCULPTURE - REFER TO DETAILS 'F', 'G', & 'H', SHEET L-05
- 6 FITNESS AREA A - REFER TO DETAIL 'A', SHEET L-07
- 7 FITNESS AREA B - REFER TO DETAIL 'B', SHEET L-07
- 8 FITNESS AREA C - REFER TO DETAIL 'C', SHEET L-07
- 9 FITNESS AREA D - REFER TO DETAIL 'D', SHEET L-07
- 10 REFER TO CIVIL PLANS FOR ADA PATH OF TRAVEL PLAN
- 11 EXISTING PARKING - REFER TO CIVIL PLAN
- 12 EXISTING BENCH SHALL REMOVED AND SALVAGED - REFER TO NOTES
- 13 EXISTING DECOMPOSED GRANITE PATH SHALL REMAIN & BE PROTECTED
- 14 EXISTING FENCE SHALL REMAIN & BE PROTECTED
- 15 EXISTING TREE SHALL REMAIN & BE PROTECTED
- 16 EXISTING TOT-LOT SHALL REMAIN & BE PROTECTED
- 17 EXISTING TRAIL SHALL REMAIN & BE PROTECTED
- 18 EXISTING TRAIL SHALL BE RE-GRADED WHERE NOTED PER CIVIL PLANS
- 19 DRINKING FOUNTAIN - REFER TO SITE AMENITY LIST & DETAIL 'F', SHEET L-06
- 20 EXISTING IRRIGATION EQUIPMENT SHALL REMAIN & BE PROTECTED
- 21 EXISTING ASPHALT ROAD SHALL REMAIN & BE PROTECTED
- 22 UNLESS OTHERWISE NOTED, EXISTING TURF SHALL REMAIN & BE PROTECTED
- 23 STEEL EDGING - REFER TO DETAIL 'G', SHEET L-08
- 24 PARK DIRECTIONAL / INFORMATIONAL SIGN - REFER TO DETAIL 'C', SHT L-06
- 25 MILE MARKER - REFER TO DETAIL 'B', SHEET L-06
- 26 42" HIGH, 3 RAIL CONTROL FENCE - REFER TO DETAIL 'D', SHEET L-05
- 27 STABILIZED DECOMPOSED GRANITE (VEHICULAR) - REFER TO DETAIL 'A', SHEET L-05. REFER TO CIVIL PLANS FOR ADDITIONAL TRAIL LAYOUT INFO.
- 28 EXISTING IRRIGATION CONTROLLER, ELECTRICAL ENCLOSURE, AND ELECTRICAL POWER SUPPLY SHALL REMAIN & BE PROTECTED
- 29 EXISTING FIRE HYDRANT SHALL REMAIN & BE PROTECTED
- 30 EXISTING TREES SHALL BE REMOVED. UNLESS OTHERWISE NOTED, ALL EXISTING TREES SHALL REMAIN & BE PROTECTED
- 31 PILASTER - REFER TO DETAIL 'A', SHEET L-08
- 32 STANDARD PIPE GATE FOR ACCESS ROAD - REFER TO DETAIL 'B', SHEET L-06
- 33 EXISTING STREET LIGHTS SHALL REMAIN & BE PROTECTED
- 34 PILASTER - REFER TO DETAIL 'C', SHEET L-08
- 35 EXISTING SIGN AND GUY WIRES SHALL REMAIN & BE PROTECTED
- 36 UNLESS OTHERWISE NOTED EXISTING BRUSH SHALL REMAIN & BE PROTECTED
- 37 EXISTING OIL WELL SHALL REMAIN & BE PROTECTED
- 38 UNLESS OTHERWISE NOTED EXISTING UTILITIES SHALL REMAIN & BE PROTECTED
- 39 CONCRETE PAVING - REFER TO DETAIL 'G', SHEET L-06

# SYMBOL LEGEND

- |        |                          |
|--------|--------------------------|
| B      | BENCH                    |
| DF     | DRINKING FOUNTAIN        |
| T      | TRASH RECEPTACLE         |
| ---    | EXISTING CHAINLINK FENCE |
| ---    | PROPERTY LINE            |
| x 3335 | EXISTING SPOT ELEVATION  |
| ---    | EXISTING CONTOUR LINES   |
| ---    | EXISTING PATH / ROAD     |
| *      | EXISTING LIGHT           |
| V      | WATER VALVE              |
| M      | WATER METER              |
| ☼      | EXISTING TREE            |
| ☼      | EXISTING BRUSH           |
| ---    | DAYLIGHT LINE            |
| OR     | EXISTING OIL WELL        |

ALL HARDSCAPES AND/OR BLOCK WALLS/PILASTERS MUST BE REVIEWED AND APPROVED UNDER A SEPARATE PERMIT



- NOTES:
1. REFER TO CIVIL PLANS FOR HORIZONTAL CONTROL / LAYOUT OF SITE AMENITIES SHOWN & VERTICAL CONTROL.
  2. MILE MARKERS & DIRECTIONAL SIGNS SHALL FACE PATHWAY & AS DIRECTED BY COUNTY INSPECTOR. FINAL LOCATION OF SIGNS / MARKERS SHALL BE REVIEWED & APPROVED BY THE COUNTY INSPECTOR PRIOR TO CONSTRUCTION.
  3. EXISTING BENCHES & DONATION SIGNS SHALL BE SALVAGED. CONTRACTOR SHALL CONTACT SHAWN McADORY, (323) 298-3660 FOR BENCH SALVAGE COORDINATION.
  4. EXISTING PARKING LOGS SHALL BE REMOVED PRIOR TO CONSTRUCTION OF THE D.G. PATH. PARKING LOGS SHALL BE RE-INSTALLED AT THE APPROPRIATE TIME.

**NUVIS**  
LANDSCAPE ARCHITECTURE  
AND PLANNING

DATE	CHK	DESCRIPTION



COUNTY OF LOS ANGELES DEPARTMENT OF PUBLIC WORKS

**KENNETH HAHN EASTERN RIDGELINE**  
4100 LA CIENEGA BOULEVARD, LOS ANGELES, CA 90056

**CONSTRUCTION PLAN**

LS1112200001

SHEET 20 OF 46

DATE: 12/25/2013  
EXPIRATION DATE: 07/24/2012

SPEC. NO. 7188 C.P. NO. 69253 P200000655



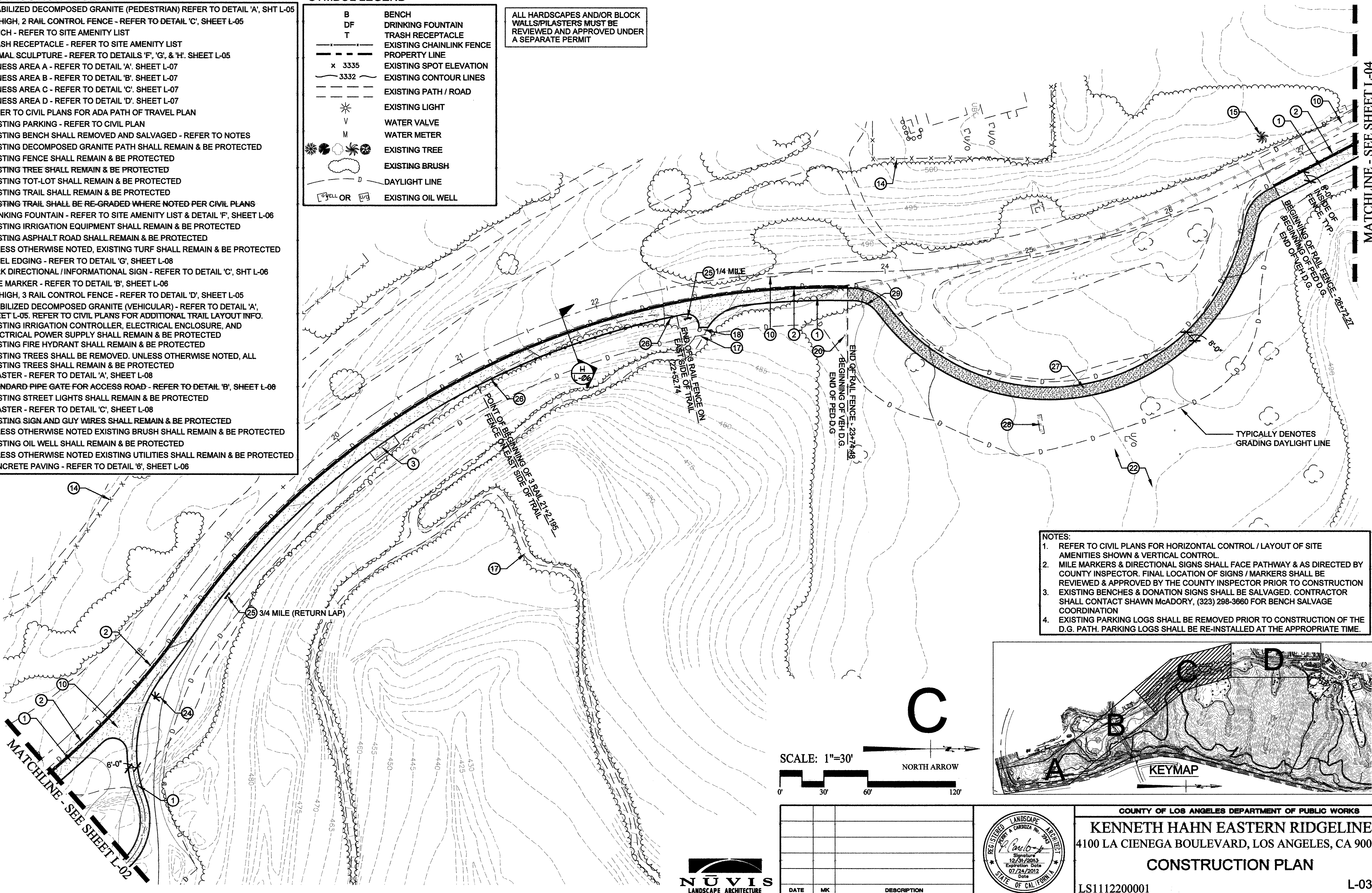
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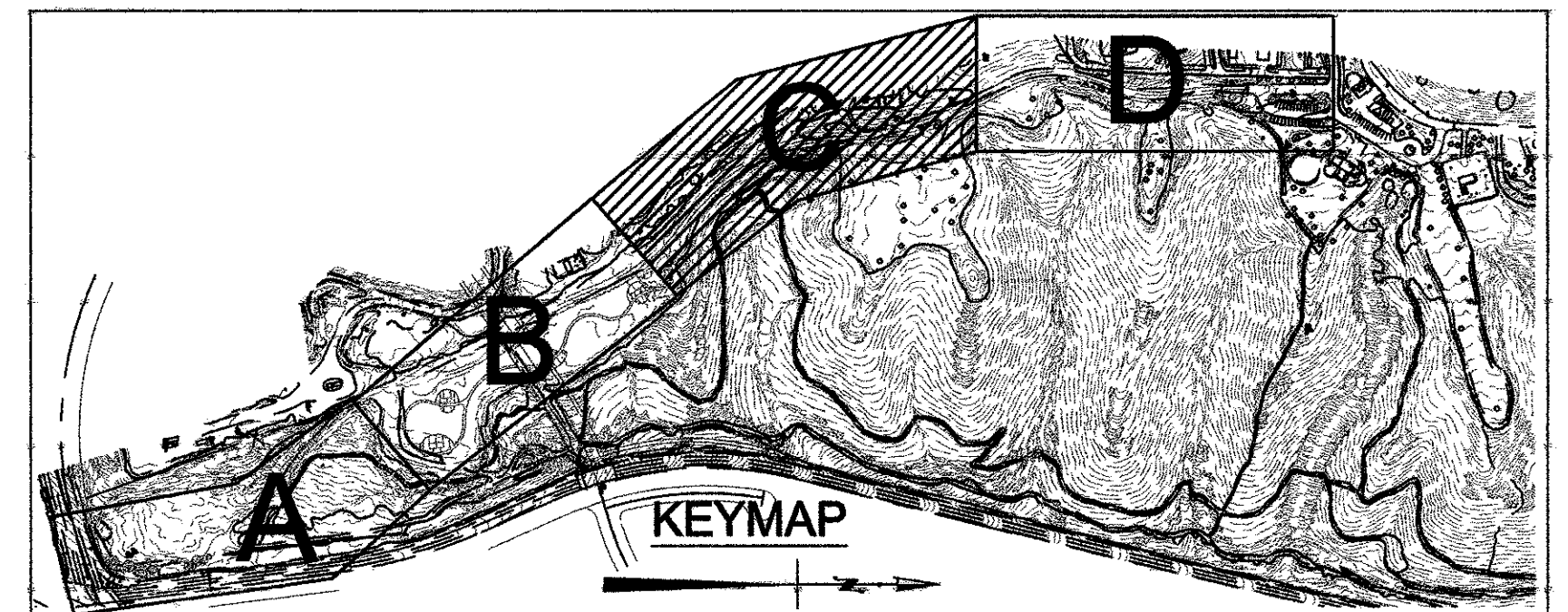
# SYMBOL LEGEND

- |        |                          |
|--------|--------------------------|
| B      | BENCH                    |
| DF     | DRINKING FOUNTAIN        |
| T      | TRASH RECEPTACLE         |
| ---    | EXISTING CHAINLINK FENCE |
| x 3335 | EXISTING SPOT ELEVATION  |
| 3332   | EXISTING CONTOUR LINES   |
| ---    | EXISTING PATH / ROAD     |
| *      | EXISTING LIGHT           |
| V      | WATER VALVE              |
| M      | WATER METER              |
| ☼      | EXISTING TREE            |
| ☼      | EXISTING BRUSH           |
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SCALE: 1"=30'

NORTH ARROW

DATE	MK	DESCRIPTION



COUNTY OF LOS ANGELES DEPARTMENT OF PUBLIC WORKS

**KENNETH HAHN EASTERN RIDGELINE**

4100 LA CIENEGA BOULEVARD, LOS ANGELES, CA 90056

**CONSTRUCTION PLAN**

LS1112200001

SPEC. NO. 7188 C.P. NO. 69253 P200000655

SHEET 21 OF 46

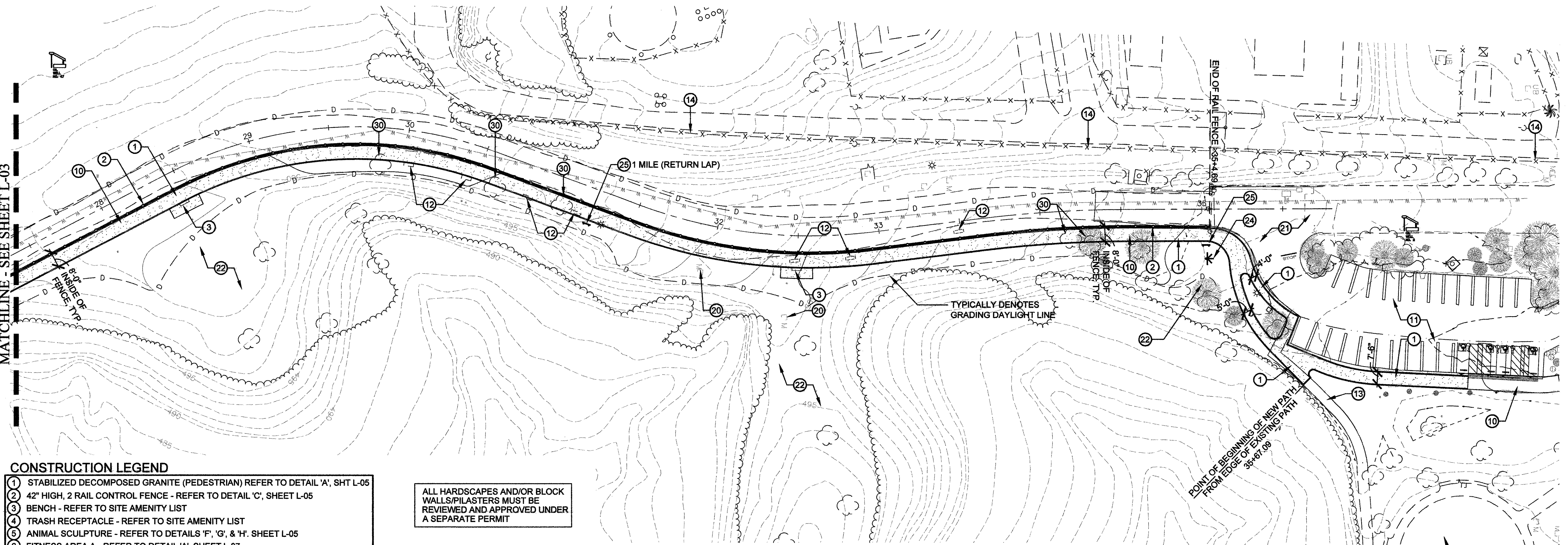
**NUVIS**

LANDSCAPE ARCHITECTURE

AND PLANNING



MATCHLINE - SEE SHEET L-03



### CONSTRUCTION LEGEND

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ALL HARDSCAPES AND/OR BLOCK WALLS/PILASTERS MUST BE REVIEWED AND APPROVED UNDER A SEPARATE PERMIT

### CONSTRUCTION PLAN NOTES

CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS, AND EQUIPMENT FOR THE INSTALLATION OF ALL IMPROVEMENTS AS SHOWN ON THE DRAWINGS AND AS DESCRIBED IN THE SPECIFICATIONS.

CONTRACTOR SHALL REVIEW ALL EXISTING SITE CONDITIONS PRIOR TO SUBMITTING BID AND PRIOR TO COMMENCING INSTALLATION. IF ANY DISCREPANCIES EXIST, THEY SHOULD BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ENGINEER.

DEVIATIONS BETWEEN THE DRAWINGS AND ACTUAL FIELD CONDITIONS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ENGINEER.

COSTS INCURRED DUE TO REPAIR, RESTORATION, OR REPLACEMENT OF EXISTING IMPROVEMENTS WHICH ARE DESIGNATED "TO BE PROTECTED" OR "TO REMAIN" WHICH ARE DAMAGED AS A RESULT OF CONSTRUCTION OPERATIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

UNLESS DESIGNATED ON THE DRAWINGS OTHERWISE, ALL MATERIALS DESIGNATED FOR REMOVAL SHALL BE DISPOSED OF OFF-SITE.

HARDSCAPE AND STRUCTURAL ELEMENTS SHALL BE PLACED PER GEOTECHNICAL SOILS REPORT. IF SUCH REPORT IS UNAVAILABLE, CONTRACTOR SHALL DISCUSS PLACEMENT ON SUITABLE GRADE WITH THE ENGINEER.

CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND STAKING ALL SEWER, WATER AND UTILITY LINES ABOVE OR BELOW GRADE THAT MIGHT BE DAMAGED AS A RESULT OF CONSTRUCTION OPERATIONS. CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR ANY COST INCURRED FOR REPAIR, RESTORATION, OR REPLACEMENT OF AFOREMENTIONED UTILITIES DAMAGED AS A RESULT OF CONSTRUCTION OPERATIONS.

ABANDONED PIPES SHALL BE CAPPED OR PLUGGED IN A MANNER APPROVED BY THE ENGINEER.

CONCRETE INDICATED FOR SAWCUTTING AND REMOVAL SHALL BE CUT TO A TRUE LINE WITH NEATLY SAWED EDGES. IF A SAWCUT IS WITHIN THREE FEET (3') OF AN EXISTING EXPANSION OR CONTROL JOINT, CONCRETE SHALL BE REMOVED TO THAT NEAREST JOINT.

CONTRACTOR SHALL SUBMIT SHOP DRAWINGS, MANUFACTURER'S CUT OR DATA SHEETS FOR APPROVAL PRIOR TO ORDERING MATERIALS. CONTRACTOR SHALL FURNISH TO THE ENGINEER A CERTIFICATE OF COMPLIANCE FOR SUCH FURNISHED MATERIALS.

UNLESS DESIGNATED ON THE DRAWINGS OTHERWISE, MATERIALS TO BE PURCHASED AND FURNISHED BY THE CONTRACTOR SHALL BE NEW.

PROJECT GEOTECHNICAL REPORT OR RECOMMENDATIONS BY A STRUCTURAL ENGINEER SHALL TAKE PRECEDENCE FOR ALL SOIL CONDITIONS, MATERIALS, REINFORCEMENT, DIMENSIONS, AND SUBBASE.

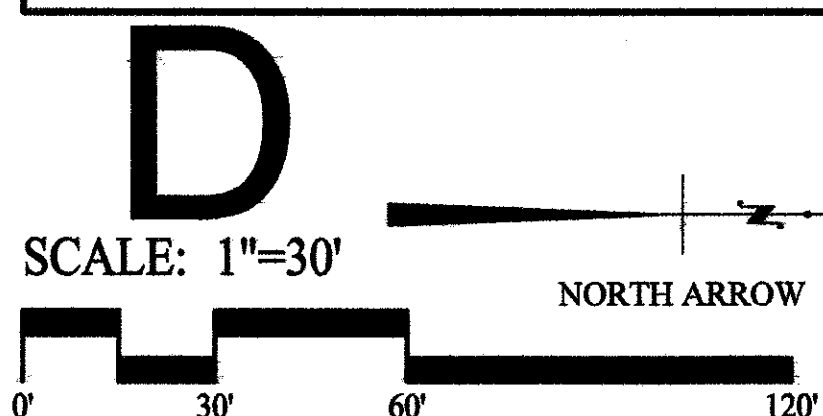
CONTRACTOR SHALL PROTECT / SECURE ALL SITE FURNISHING AND THEIR OWN EQUIPMENT WITHIN THE PROJECT LIMITS DURING THE CONSTRUCTION PERIOD.

CONTRACTOR SHALL SUBMIT A STAGING PLAN TO THE COUNTY FOR APPROVAL.

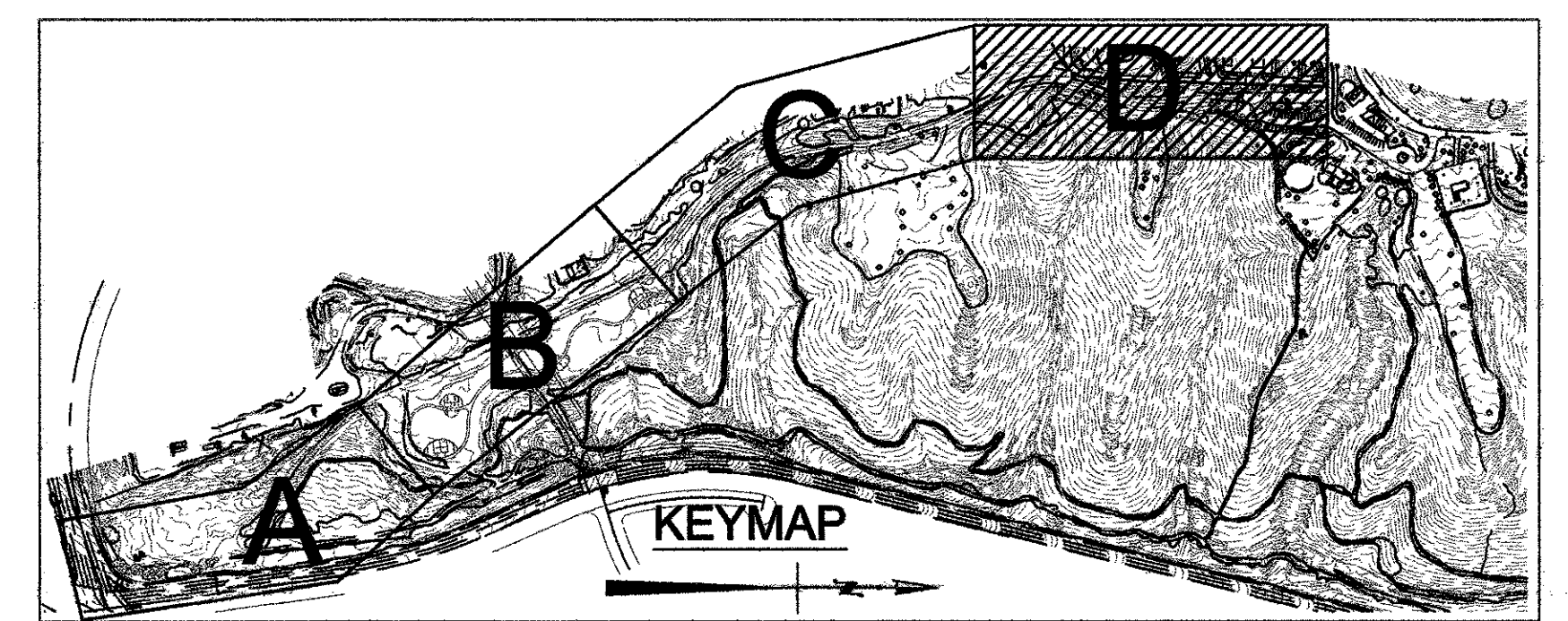
CONTRACTOR SHALL NOT PREVENT ACCESS TO COUNTY PARKS MAINTENANCE AREA AND / IMPACT PARK OPERATIONS OF THE PARK.

### SYMBOL LEGEND

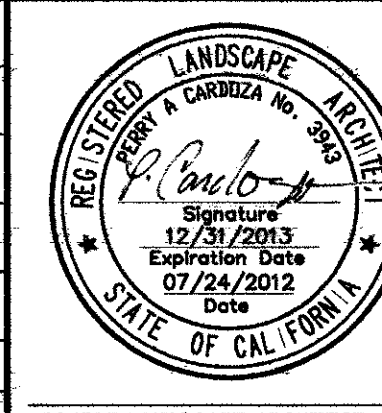
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DF	DRINKING FOUNTAIN
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- NOTES:
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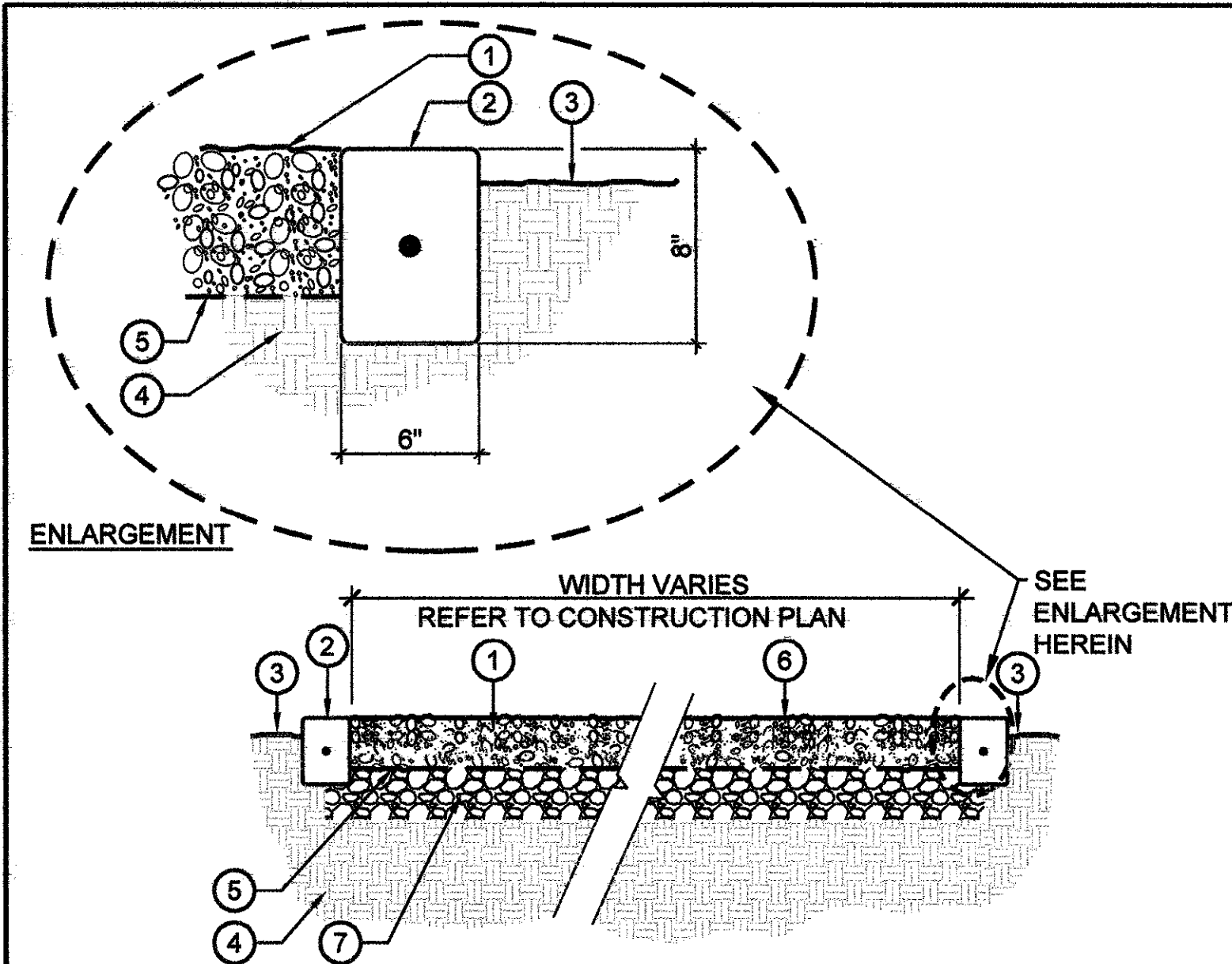


**NUVIS**  
LANDSCAPE ARCHITECTURE  
AND PLANNING



COUNTY OF LOS ANGELES DEPARTMENT OF PUBLIC WORKS  
**KENNETH HAHN EASTERN RIDGELINE**  
4100 LA CIENEGA BOULEVARD, LOS ANGELES, CA 90056  
**CONSTRUCTION PLAN**  
LS1112200001  
SHEET 22 OF 27  
(5 4 27)





- NOTES:
1. STABILIZED DECOMPOSED GRANITE PATHWAY (PEDESTRIAN & VEHICULAR) MATERIAL SHALL BE: 'STINGRAY GRAY'
  2. STABILIZED DECOMPOSED GRANITE FITNESS AREA MATERIAL SHALL BE: 'FLAME RED'
  3. DECOMPOSED GRANITE (D.G.) IN FITNESS ZONES SHALL BE COMPACTED IN 2" LIFTS AND STABILIZED WITH DECORATIVE STONE SOLUTIONS STABILIZING BINDER. DECOMPOSED GRANITE IN PATHWAY SHALL BE STABILIZED & COMPACTED IN 2" LIFTS. PEDESTRIAN PATHWAY WHERE NOTED SHALL NOT RECEIVE 6" AGGREGATE BASE. VEHICULAR D.G. WHERE NOTED ON PLANS SHALL RECEIVE 6" AGGREGATE BASE. BOTH PATHWAY & FITNESS AREA SHALL BE STABILIZED WITH THE SAME MATERIAL PRODUCT.
  4. REFER TO DETAIL 'B', SECTION 'AA', THIS SHEET FOR ADDITIONAL INFORMATION
  5. REFER TO CONSTRUCTION PLANS FOR PEDESTRIAN & VEHICULAR D.G. LOCATIONS

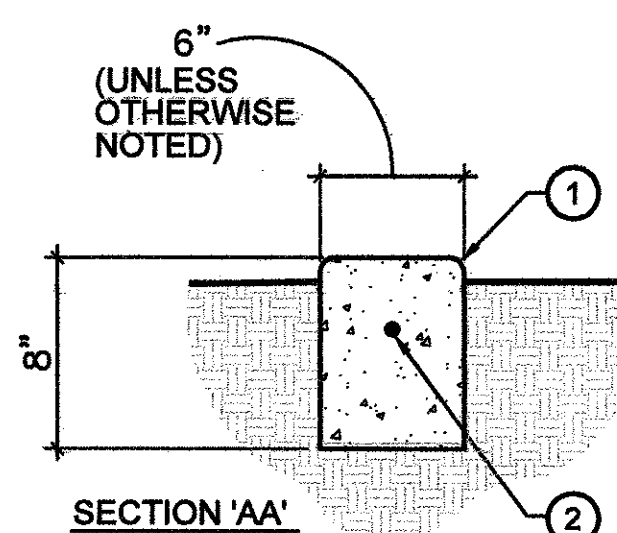
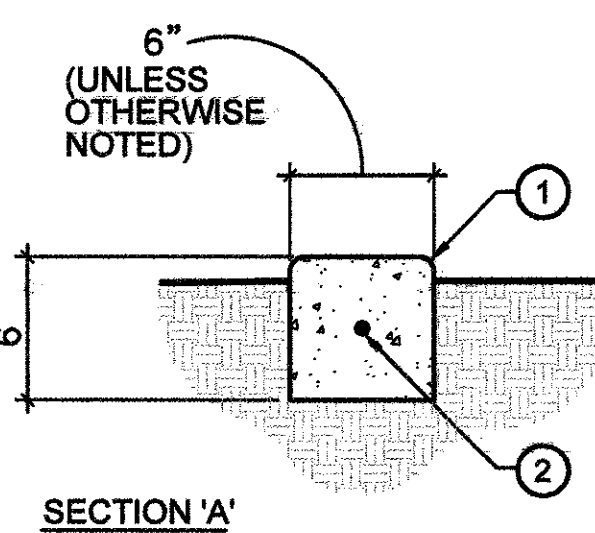
- 1 6" THICK STABILIZED PATHWAY DECOMPOSED GRANITE (D.G.) FLUSH WITH CURB. 6" THICK STABILIZED FITNESS ZONE DECOMPOSED GRANITE (D.G.) FLUSH WITH CURB. GRANITE MATERIALS AVAILABLE FROM DECORATIVE STONE SOLUTIONS, (800) 699-1878 OR AN APPROVED EQUAL.
- 2 6"x8" DEEP CONCRETE CURB - REFER TO ENLARGEMENT & DETAIL 'B', THIS SHEET FOR NOTES
- 3 FINISH GRADE-2" BELOW CURB FOR SHRUB/GROUND COVER AREAS
- 4 UNDISTURBED NATIVE GRADE OR CERTIFIED COMPACTED SUBGRADE PER GEOTECHNICAL REPORT
- 5 FILTER FABRIC (WEED BARRIER)- BIO-BARRIER II FABRIC AVAILABLE FROM REMAY, INC. (800) 382-8467 OR AN APPROVED EQUAL.
- 6 MIN. 2% SLOPE ON ALL DECOMPOSED GRANITE SURFACES. SEE CIVIL DRAWINGS FOR DIRECTION OF SLOPE & GRADIENTS
- 7 6" AGGREGATE BASE WHERE VEHICULAR PATH OCCURS

#### A DECOMPOSED GRANITE

SCALE: N/A

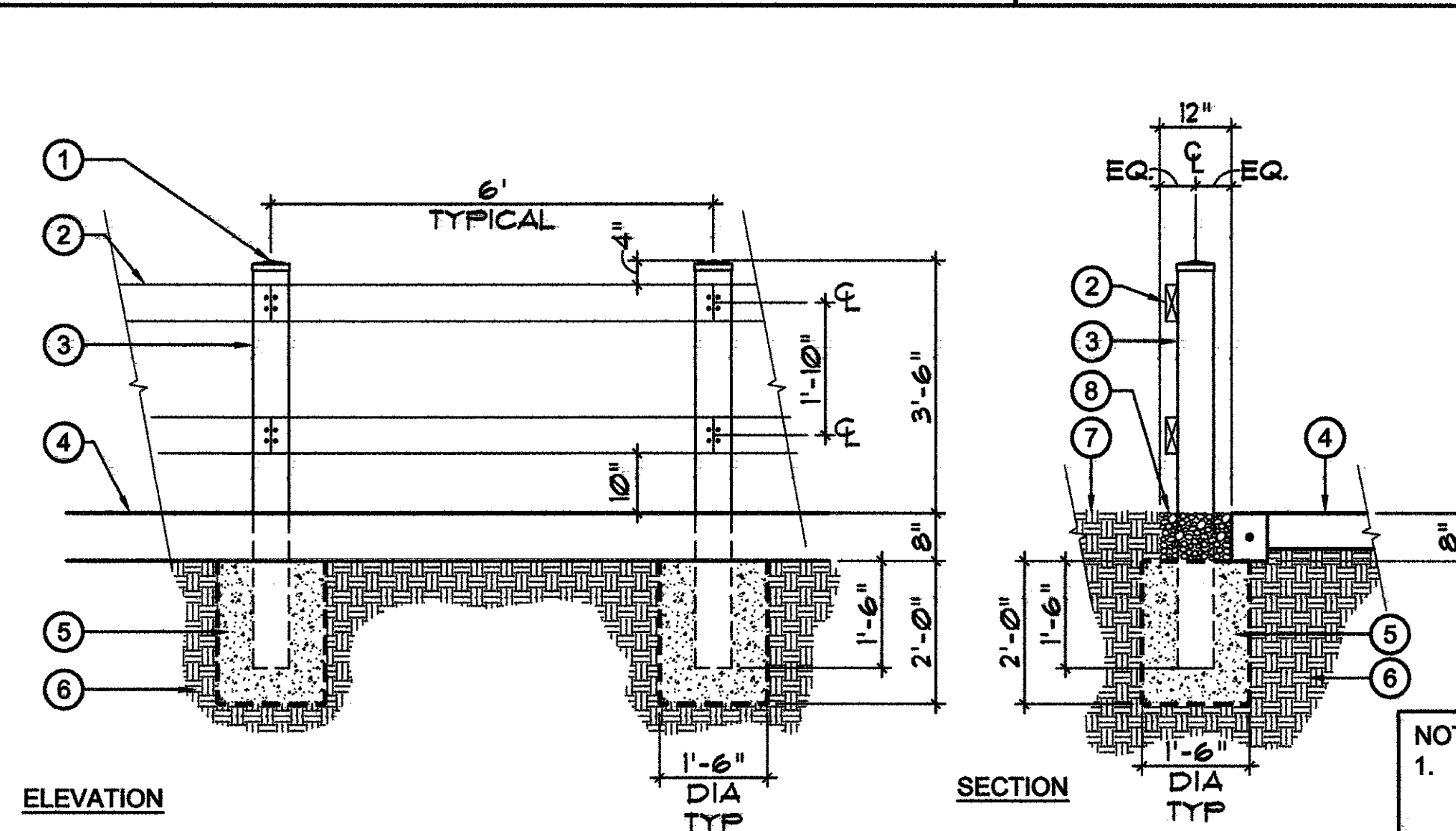
- NOTES:
1. SAWCUT OR SCORE JOINTS @ 10' O.C. MAX.
  2. CONCRETE SHALL BE NATURAL COLOR WITH LIGHT BROOM FINISH TEXTURE
  3. UNLESS OTHERWISE NOTED, NEW FINISH SURFACE SHALL BE FLUSH WITH ADJACENT EXISTING SURFACES.
  4. FINISH GRADE: 1" BELOW FINISH SURFACE ADJACENT FOR TURF AND 2" BELOW FOR GROUND COVER/SHRUB AREAS.
  5. FOR ADDITIONAL INFORMATION REFER TO CONSTRUCTION AND GRADING NOTES.
  6. PROJECT GEOTECHNICAL REPORT OR RECOMMENDATIONS BY A STRUCTURAL ENGINEER SHALL TAKE PRECEDENCE FOR ALL SOIL CONDITIONS, MATERIALS, REINFORCEMENT, DIMENSIONS, AND SUBBASE.

- 1 CONCRETE MOW STRIP 1/2" RADIUS ON EXPOSED EDGES.
- 2 #4 REBAR, CONTINUOUS, 2" CLEAR.



#### B CONCRETE MOWSTRIP

SCALE: 1/2" = 1'

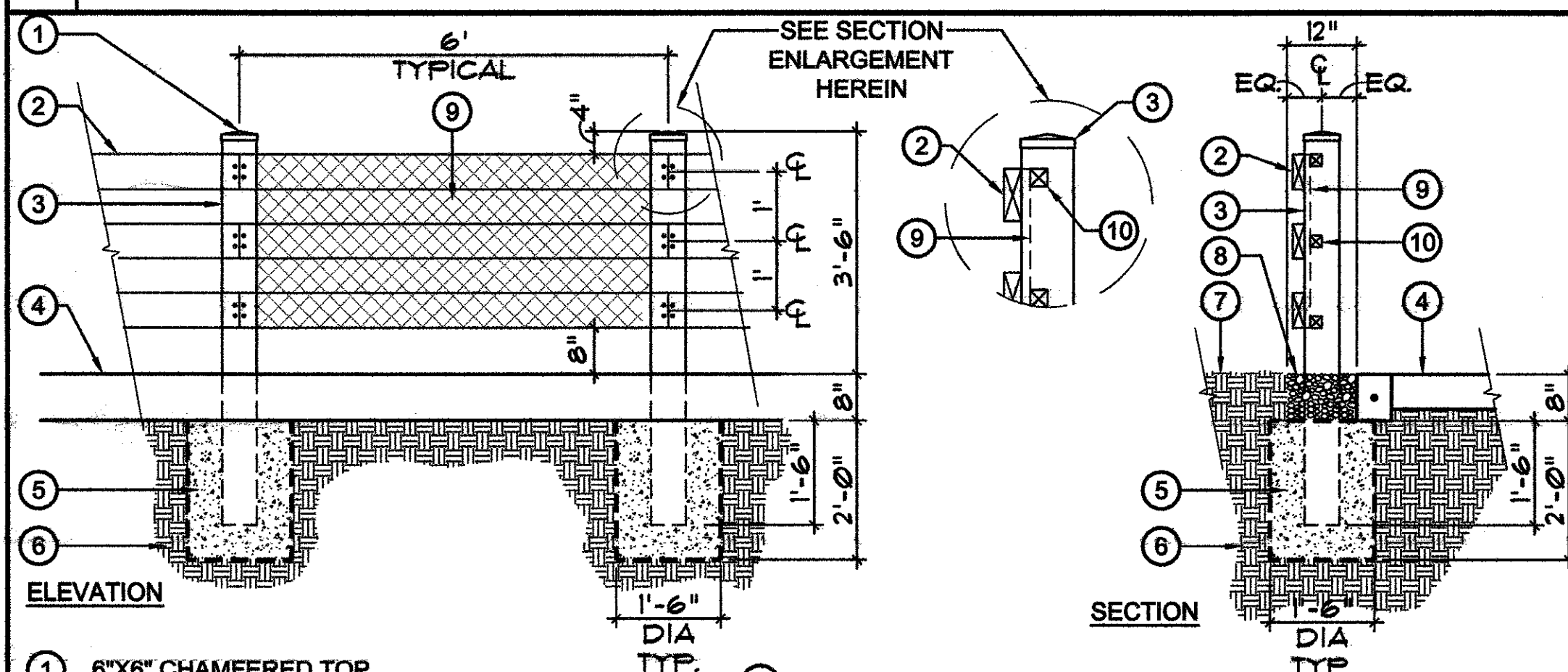


- 1 6"x6" CHAMFERED TOP
- 2 2"x6" RAIL. BUTT JOINT. USE TWO 3/4" DIA. X 8" LONG ZINC COATED BOLTS W/ WASHER ON EACH SIDE AND NUT. COUNTER SINK FLUSH W RAIL & POST BOTH SIDES, BACK & FRONT. PEEN ALL NUTS.
- 3 6"x6" POST
- 4 6" THICK DECOMPOSED GRANITE - REFER TO DETAIL 'A', THIS SHEET
- 5 CONCRETE FOOTING
- 6 UNDISTURBED NATIVE GRADE OR CERTIFIED COMPACTED SUBGRADE PER GEOTECHNICAL REPORT
- 7 EXISTING DIRT ROAD
- 8 3/4" GRAVEL MULCH - 8" DEEP

- NOTE:
1. ALL FENCING LUMBER SHALL BE MADE OF DURAWOOD AVAILABLE FROM THE VINYL FENCE CO. 714-210-8830 OR AN APPROVED EQUAL
  2. COLOR OF LUMBER SHALL BE CEDAR. SAMPLE OF COLORED MATERIALS SHALL BE SUBMITTED TO THE ENGINEER FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION

#### C RECYCLED 2 RAIL FENCE

SCALE: 1/2" = 1'

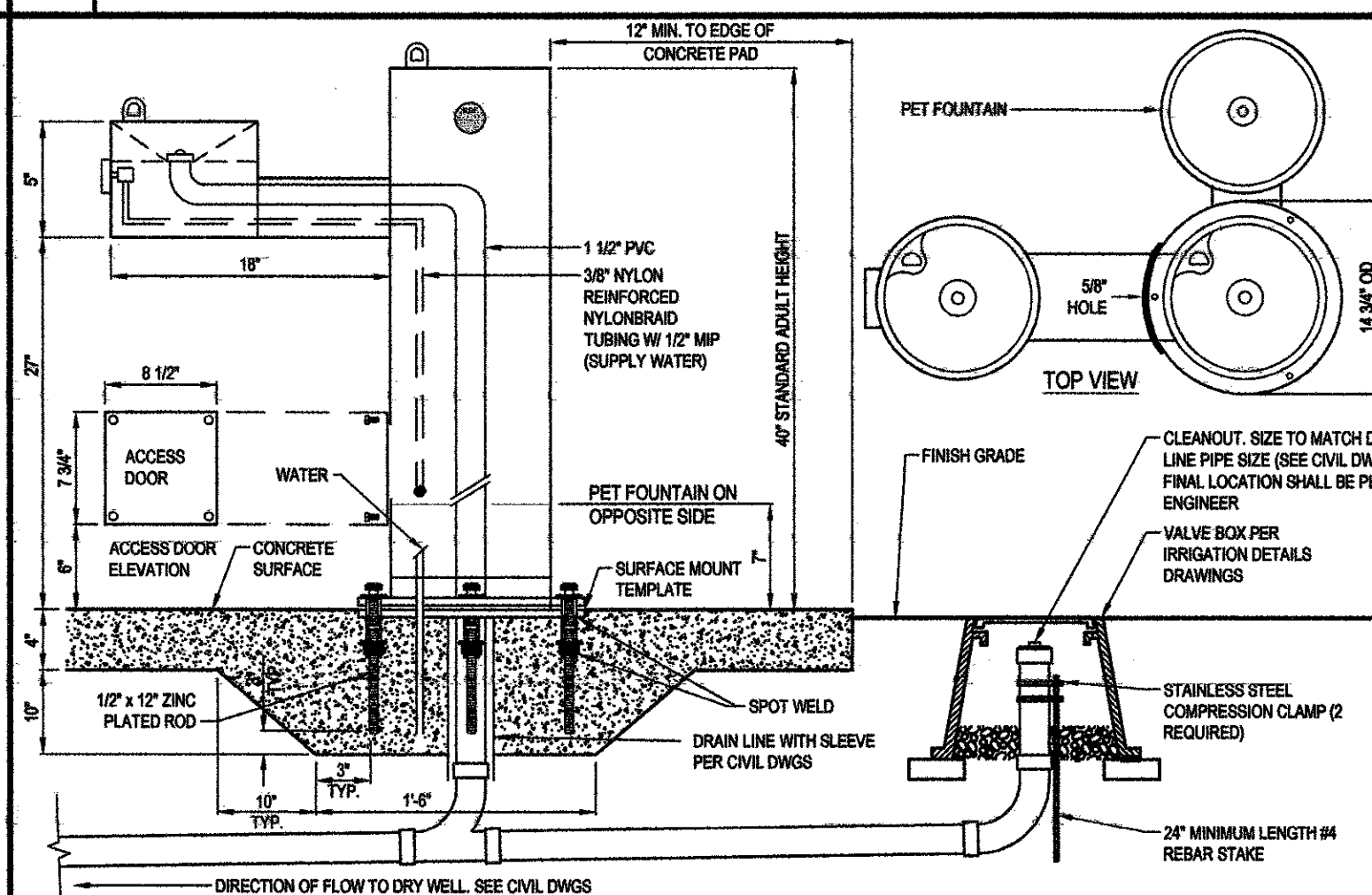


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- 3 6"x6" POST
- 4 6" THICK DECOMPOSED GRANITE - REFER TO DETAIL 'A', THIS SHEET
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- 6 UNDISTURBED NATIVE GRADE OR CERTIFIED COMPACTED SUBGRADE PER GEOTECHNICAL REPORT
- 7 FINISH GRADE
- 8 3/4" GRAVEL MULCH - 8" DEEP
- 9 GALV. CHAINLINK FENCE FABRIC SANDWICHED BETWEEN RAILS & LEDGER. REFER TO NOTES
- 10 2"x2" LEDGER ATTACHED TO HORIZONTAL RAILS & POSTS

- NOTE:
1. ALL FENCING LUMBER SHALL BE MADE OF DURAWOOD AVAILABLE FROM THE VINYL FENCE CO. 714-210-8830 OR AN APPROVED EQUAL
  2. COLOR OF LUMBER SHALL BE CEDAR. SAMPLE OF COLORED MATERIALS SHALL BE SUBMITTED TO THE ENGINEER FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION
  3. CHAINLINK FABRIC SHALL BE GALV., 2"x2" SQUARE MESH & VINYL COATED. COLOR OF ALL VINYL COATING SHALL BE HUNTER GREEN
  4. METAL MEMBERS SHALL BE PAINTED TO MATCH COLOR OF FABRIC
  5. CHAIN LINK FENCE MATERIALS SHALL CONFORM TO SPECIFICATIONS HEREIN.
  6. GRAVEL MULCH AVAILABLE FROM DECORATIVE STONE SOLUTIONS, 800-699-1878 OR AN APPROVED EQUAL

#### D RECYCLED 3 RAIL FENCE

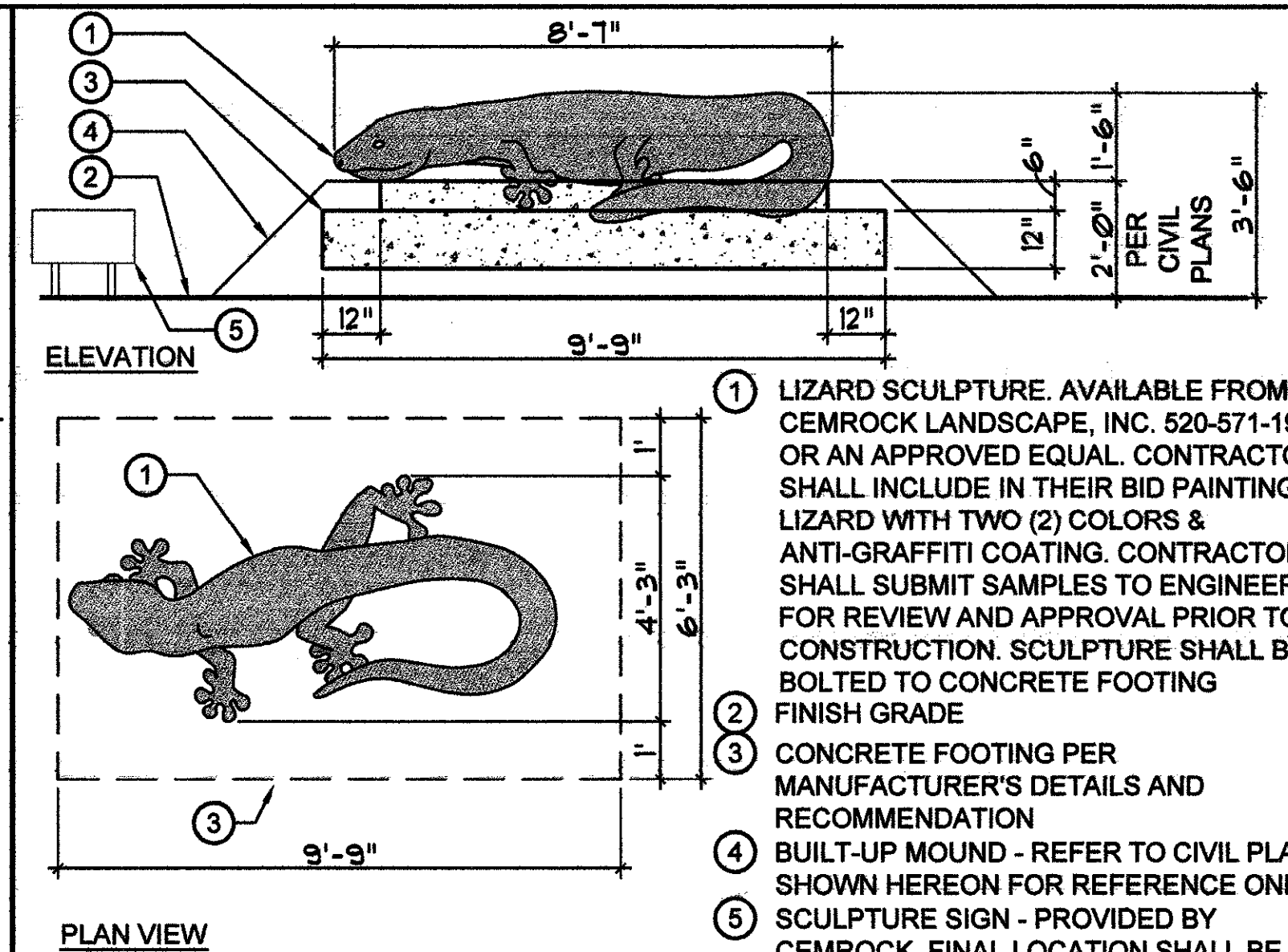
SCALE: 1/2" = 1'



- NOTES:
1. REFER TO SHEET L-01, SITE AMENITY LIST & NOTES FOR ADDITIONAL INFORMATION
  2. REFER TO CIVIL PLANS FOR WATER, SEWER LINES & DRY WELL DETAILS. CIVIL PLANS SHALL TAKE PRECEDENCE REGARDING UTILITIES.
  3. COLOR OF DRINKING FOUNTAIN SHALL BE: GREEN
  4. FOUNTAIN SHALL INCLUDE ATTACHED PET FOUNTAIN
  5. INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS

#### E DRINKING FOUNTAIN

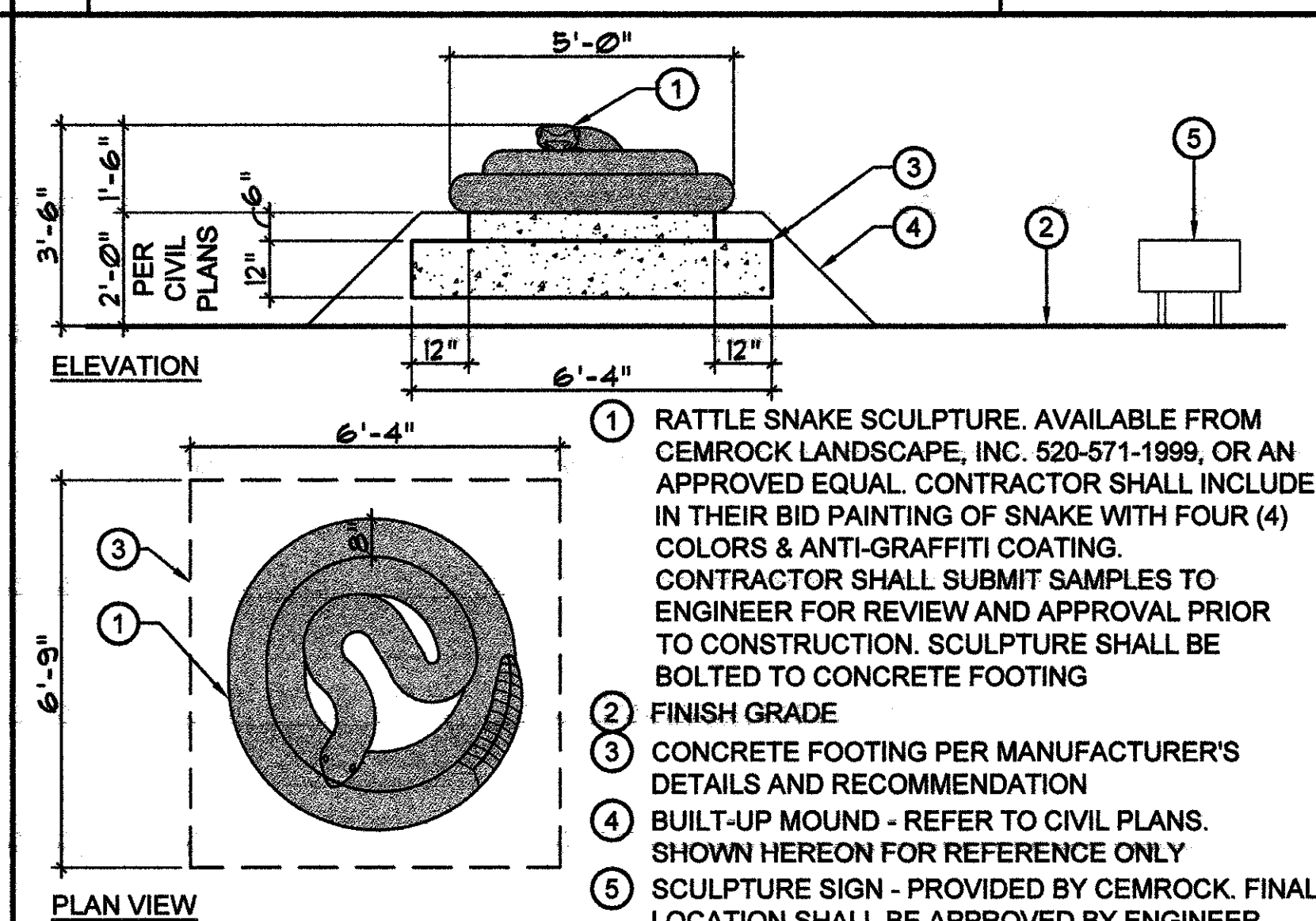
SCALE: N/A



- 1 LIZARD SCULPTURE. AVAILABLE FROM CEMROCK LANDSCAPE, INC. 520-571-1999, OR AN APPROVED EQUAL. CONTRACTOR SHALL INCLUDE IN THEIR BID PAINTING OF LIZARD WITH TWO (2) COLORS & ANTI-GRAFFITI COATING. CONTRACTOR SHALL SUBMIT SAMPLES TO ENGINEER FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION. SCULPTURE SHALL BE BOLTED TO CONCRETE FOOTING FINISH GRADE
- 2 CONCRETE FOOTING PER MANUFACTURER'S DETAILS AND RECOMMENDATION
- 3 BUILT-UP MOUND - REFER TO CIVIL PLANS. SHOWN HEREON FOR REFERENCE ONLY
- 4 SCULPTURE SIGN - PROVIDED BY CEMROCK. FINAL LOCATION SHALL BE APPROVED BY ENGINEER

#### F LIZARD SCULPTURE

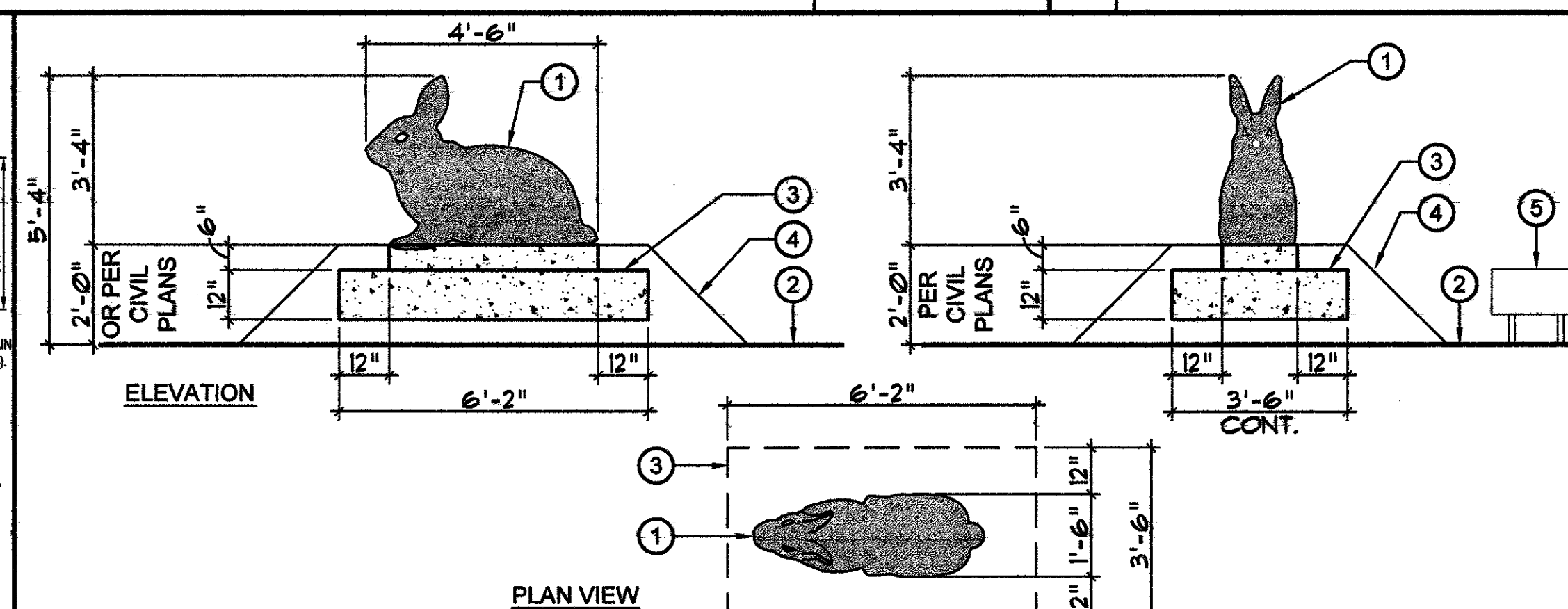
SCALE: 3/8" = 1'-0"



- 1 RATTLE SNAKE SCULPTURE. AVAILABLE FROM CEMROCK LANDSCAPE, INC. 520-571-1999, OR AN APPROVED EQUAL. CONTRACTOR SHALL INCLUDE IN THEIR BID PAINTING OF SNAKE WITH FOUR (4) COLORS & ANTI-GRAFFITI COATING. CONTRACTOR SHALL SUBMIT SAMPLES TO ENGINEER FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION. SCULPTURE SHALL BE BOLTED TO CONCRETE FOOTING
- 2 FINISH GRADE
- 3 CONCRETE FOOTING PER MANUFACTURER'S DETAILS AND RECOMMENDATION
- 4 BUILT-UP MOUND - REFER TO CIVIL PLANS. SHOWN HEREON FOR REFERENCE ONLY
- 5 SCULPTURE SIGN - PROVIDED BY CEMROCK. FINAL LOCATION SHALL BE APPROVED BY ENGINEER

#### G RATTLE SNAKE SCULPTURE

SCALE: 3/8" = 1'-0"

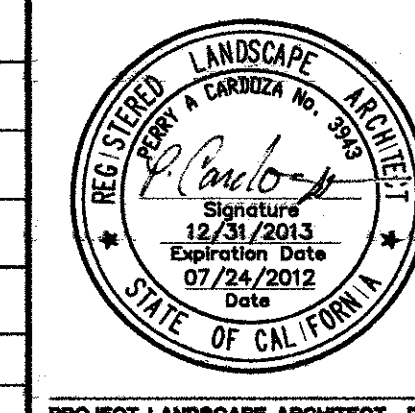


- 1 COTTONTAIL RABBIT SCULPTURE. AVAILABLE FROM CEMROCK LANDSCAPE, INC. 520-571-1999, OR AN APPROVED EQUAL. CONTRACTOR SHALL INCLUDE IN THEIR BID PAINTING OF RABBIT WITH ONE (1) COLOR & ANTI-GRAFFITI COATING. CONTRACTOR SHALL SUBMIT SAMPLES TO ENGINEER FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION. SCULPTURE SHALL BE BOLTED TO CONCRETE FOOTING
- 2 FINISH GRADE
- 3 CONCRETE FOOTING PER MANUFACTURER'S DETAILS AND RECOMMENDATION
- 4 BUILT-UP MOUND - REFER TO CIVIL PLANS. SHOWN HEREON FOR REFERENCE ONLY
- 5 SCULPTURE SIGN - PROVIDED BY CEMROCK. FINAL LOCATION SHALL BE APPROVED BY ENGINEER

#### H RABBIT SCULPTURE

SCALE: 3/8" = 1'-0"

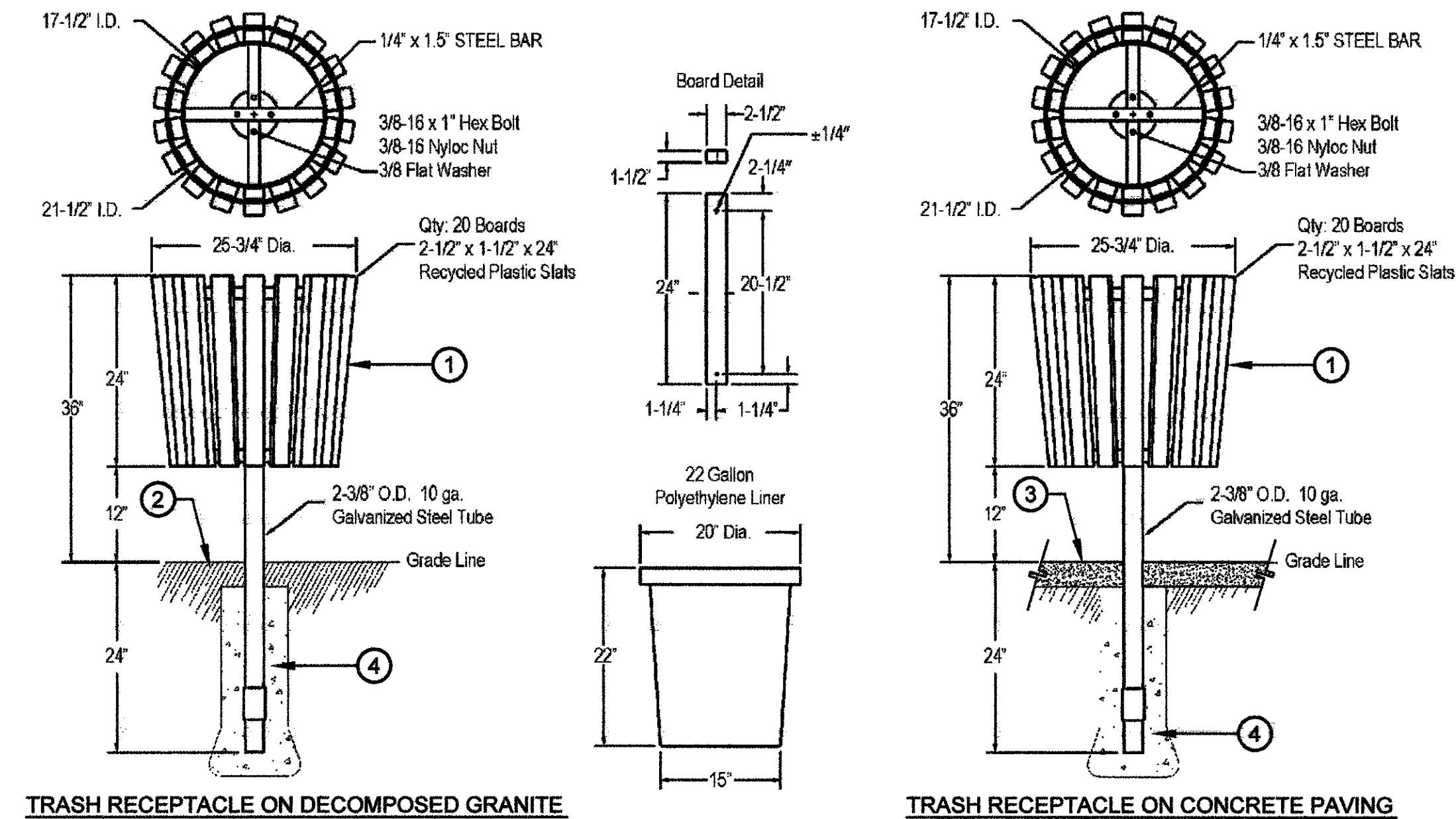
DATE	MK	DESCRIPTION



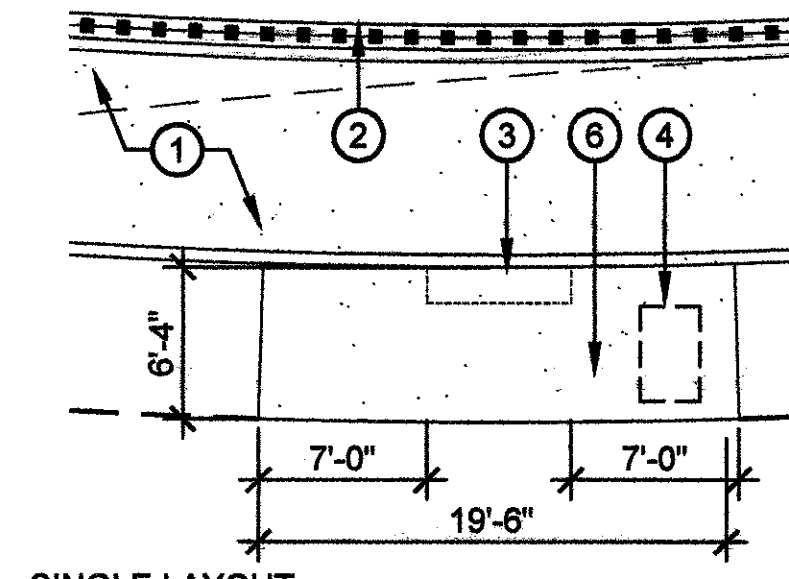
COUNTY OF LOS ANGELES DEPARTMENT OF PUBLIC WORKS			
KENNETH HAHN EASTERN RIDGELINE			
4100 LA CIENEGA BOULEVARD, LOS ANGELES, CA 90056			
CONSTRUCTION DETAILS			
LS1112200001	L-05		
SPEC. NO. 7188	G.P. NO. 69253	P200000655	SHEET 23 OF 46

(6 of 27)



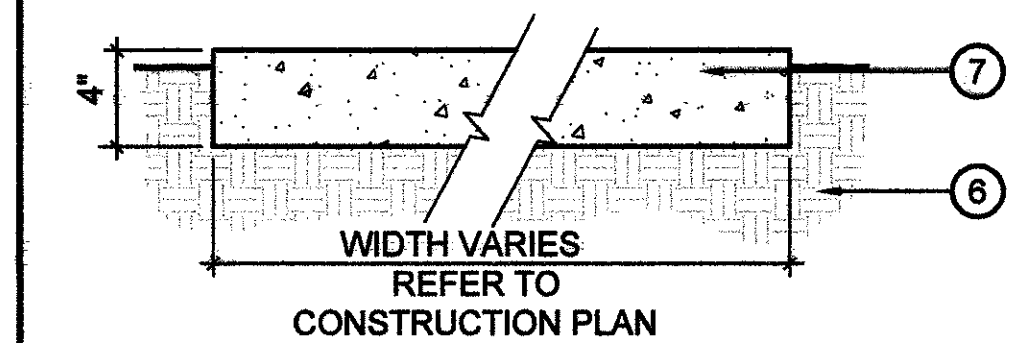


- 1 TRASH RECEPTACLE - REFER TO SITE AMENITY LIST, SHEET L-01
- 2 FINISH GRADE
- 3 CONCRETE PAVING - REFER TO DETAIL 'G', SHEET L-06
- 4 CONCRETE FOOTING PER MANUFACTURER'S DETAILS & SPECIFICATIONS



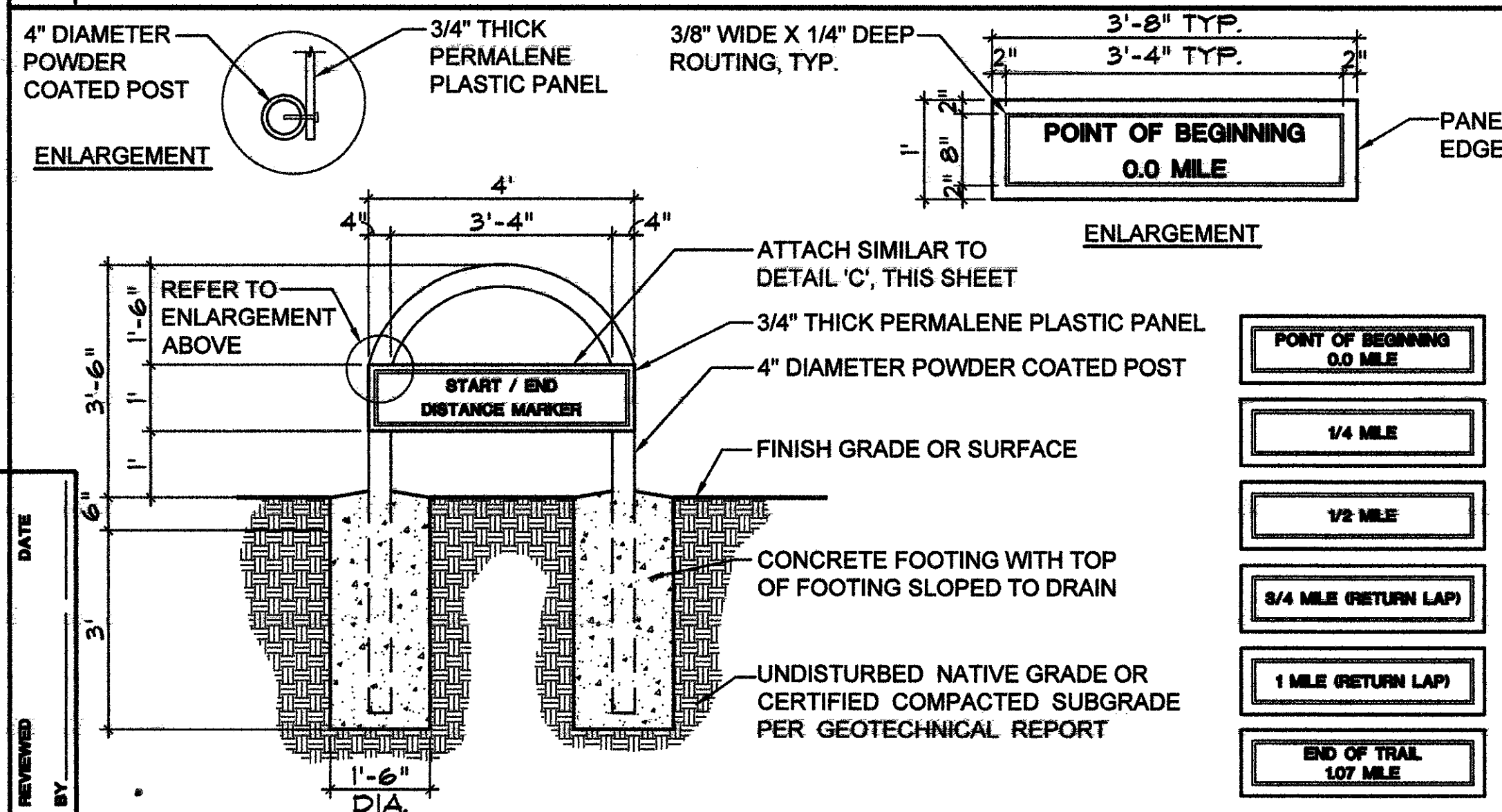
- 1 DECOMPOSED GRANITE - REFER TO DETAIL 'A', SHEET L-05
- 2 42\"/>

- NOTES:**
1. EXPANSION JOINTS SHALL BE AS SHOWN ON THE CONSTRUCTION PLAN(S) AND/OR ADJACENT TO LARGE SLABS, STRUCTURES, AND AT INTERVALS NOT TO EXCEED 20' O.C.
  2. CONTROL JOINTS SHALL BE AS SHOWN ON THE CONSTRUCTION PLAN(S), DETAILS, AND/OR AT 10' INTERVALS.
  3. CONCRETE SHALL BE NATURAL COLOR WITH MEDIUM BROOM FINISH
  4. UNLESS OTHERWISE NOTED, NEW FINISH SURFACE SHALL BE FLUSH WITH ADJACENT EXISTING SURFACES.
  5. FINISH GRADE: 1\"/>



## A TRASH RECEPTACLE

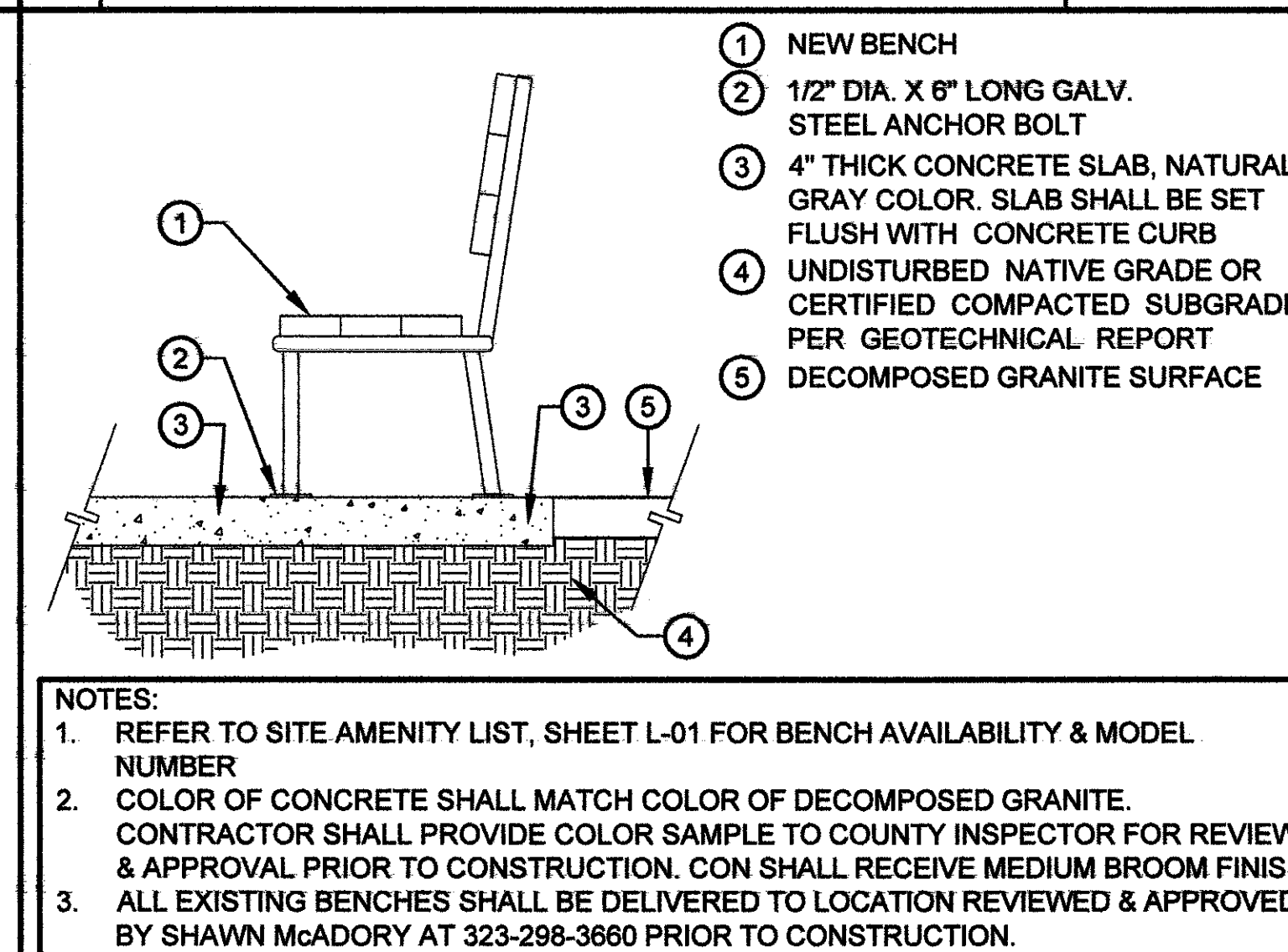
SCALE: 3/4\"/>



- NOTES:**
1. PIPE SHALL RECEIVE POWDER COAT PAINT TO MATCH FITNESS EQUIPMENT. PANEL SHALL BE TAN TO MATCH SITE FURNITURE
  2. ALL METAL SHALL BE GALVANIZED AFTER FABRICATION.
  3. LOCATION OF SIGNS SHOWN ON PLANS IS APPROXIMATE. FINAL LOCATION OF SIGNS SHALL BE PER THE COUNTY INSPECTOR IN THE FIELD. PRIOR TO FABRICATION, THE CONTRACTOR SHALL SUBMIT TO THE COUNTY INSPECTOR A FULL SIZE SAMPLE OF ALL SIGNAGE MATERIALS FOR REVIEW AND APPROVAL. CONTRACTOR SHALL VERIFY WORDS PRIOR TO FINAL SIGN MOCK-UP.
  4. WORDS SHALL BE UPPERCASE, OPTIMA MEDIUM, 2\"/>

## D SEATING AREA LAYOUT

SCALE: 1/8\"/>



- NOTES:**
1. REFER TO SITE AMENITY LIST, SHEET L-01 FOR BENCH AVAILABILITY & MODEL NUMBER
  2. COLOR OF CONCRETE SHALL MATCH COLOR OF DECOMPOSED GRANITE. CONTRACTOR SHALL PROVIDE COLOR SAMPLE TO COUNTY INSPECTOR FOR REVIEW & APPROVAL PRIOR TO CONSTRUCTION. CON SHALL RECEIVE MEDIUM BROOM FINISH
  3. ALL EXISTING BENCHES SHALL BE DELIVERED TO LOCATION REVIEWED & APPROVED BY SHAWN McADORY AT 323-298-3660 PRIOR TO CONSTRUCTION.

## PEDESTRIAN TRAFFIC

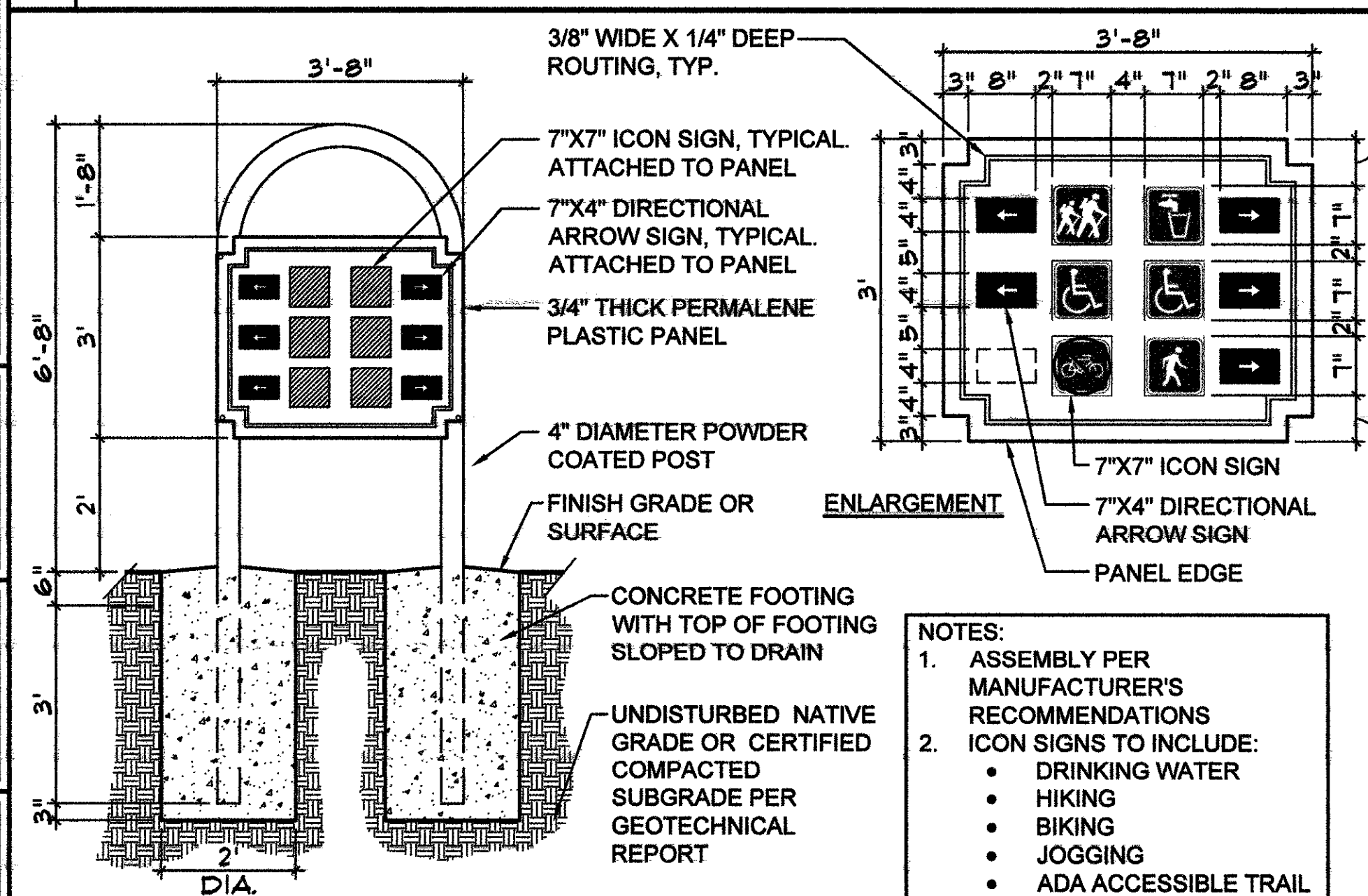
- 1 ASPHALT SATURATED FIBER OR 1\"/>

## EXPANSION JOINT

## CONTROL JOINT

## B MILE MARKER

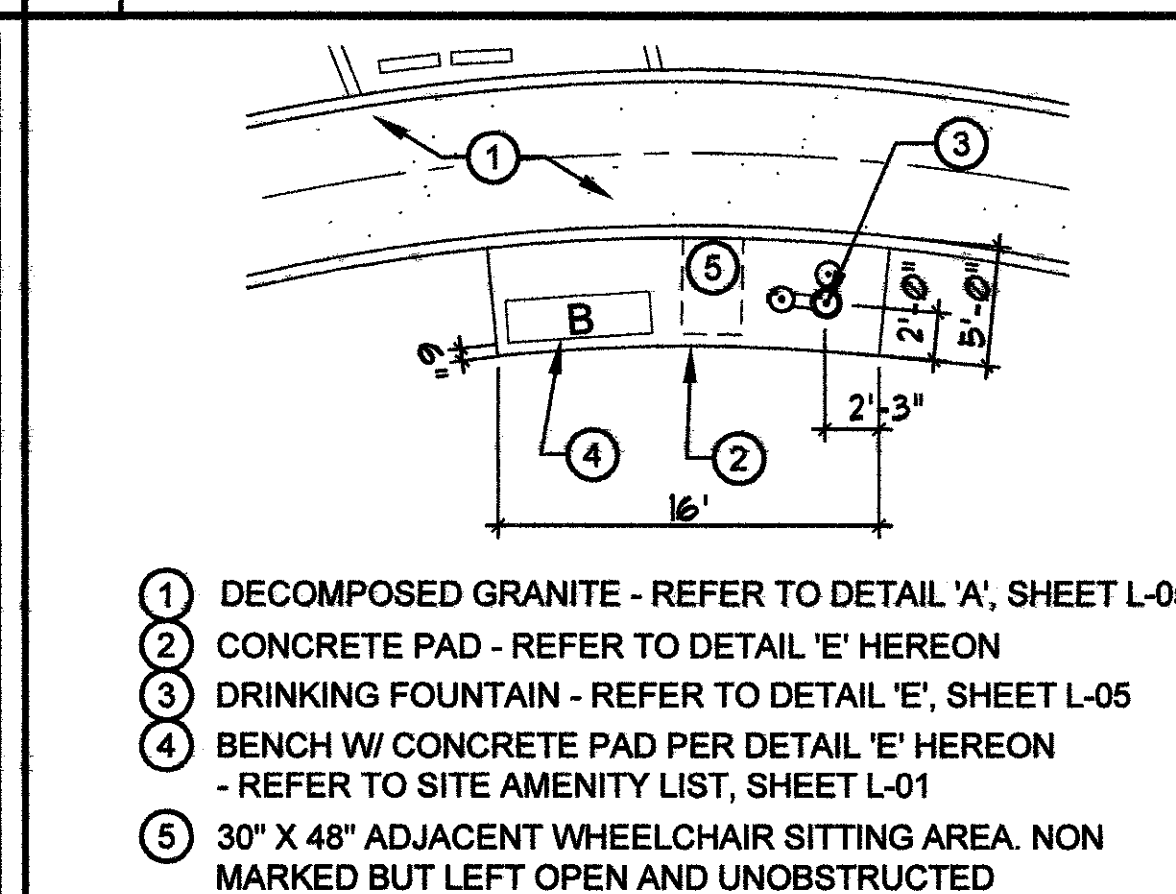
SCALE: 1/2\"/>



- NOTES:**
1. PIPE SHALL RECEIVE POWDER COAT PAINT TO MATCH FITNESS EQUIPMENT. PANEL SHALL BE TAN TO MATCH SITE FURNITURE
  2. PANEL SHALL BE FABRICATED AT SIZE SHOWN WITH 7\"/>

## E BENCH

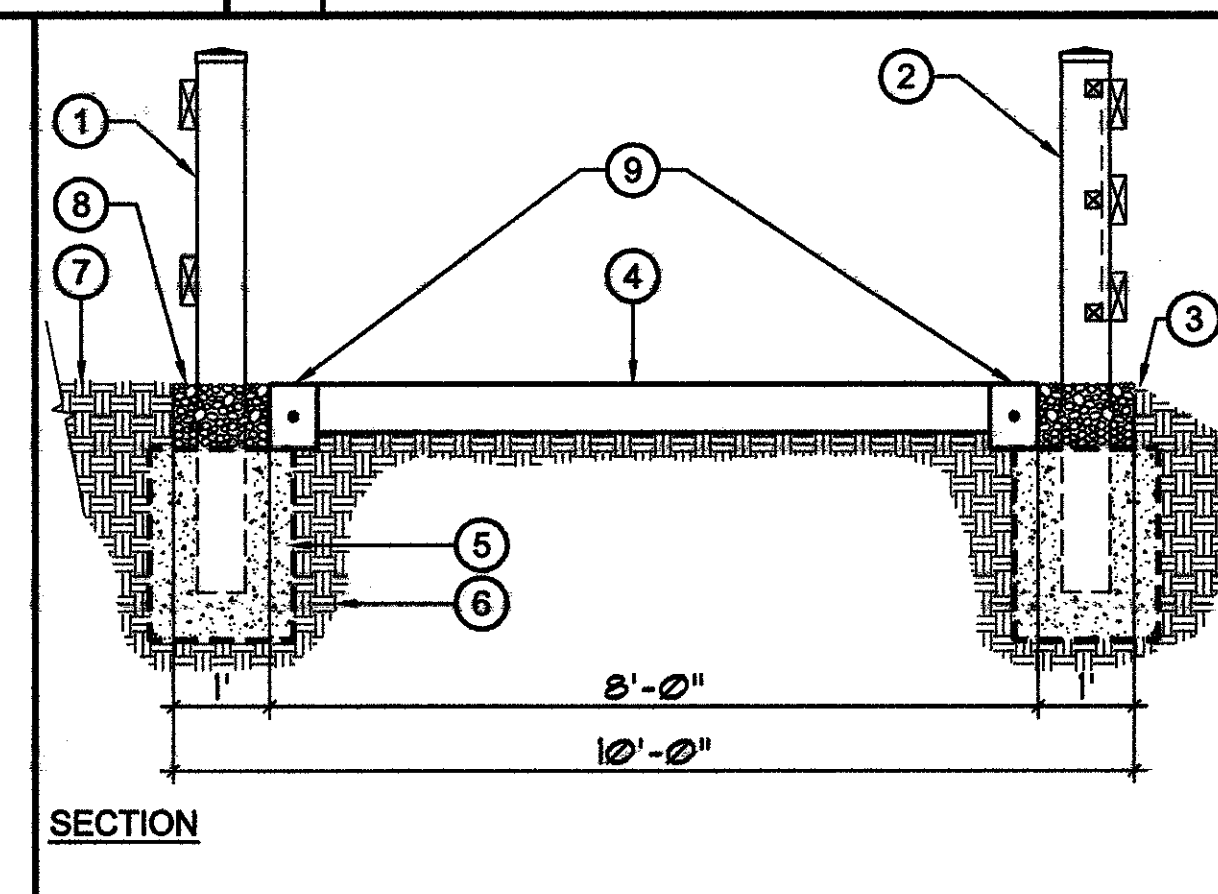
SCALE: 1\"/>



- 1 DECOMPOSED GRANITE - REFER TO DETAIL 'A', SHEET L-05
- 2 CONCRETE PAD - REFER TO DETAIL 'E' HEREON
- 3 DRINKING FOUNTAIN - REFER TO DETAIL 'E', SHEET L-05
- 4 BENCH W/ CONCRETE PAD PER DETAIL 'E' HEREON - REFER TO SITE AMENITY LIST, SHEET L-01
- 5 30\"/>

## G CONCRETE PAVING

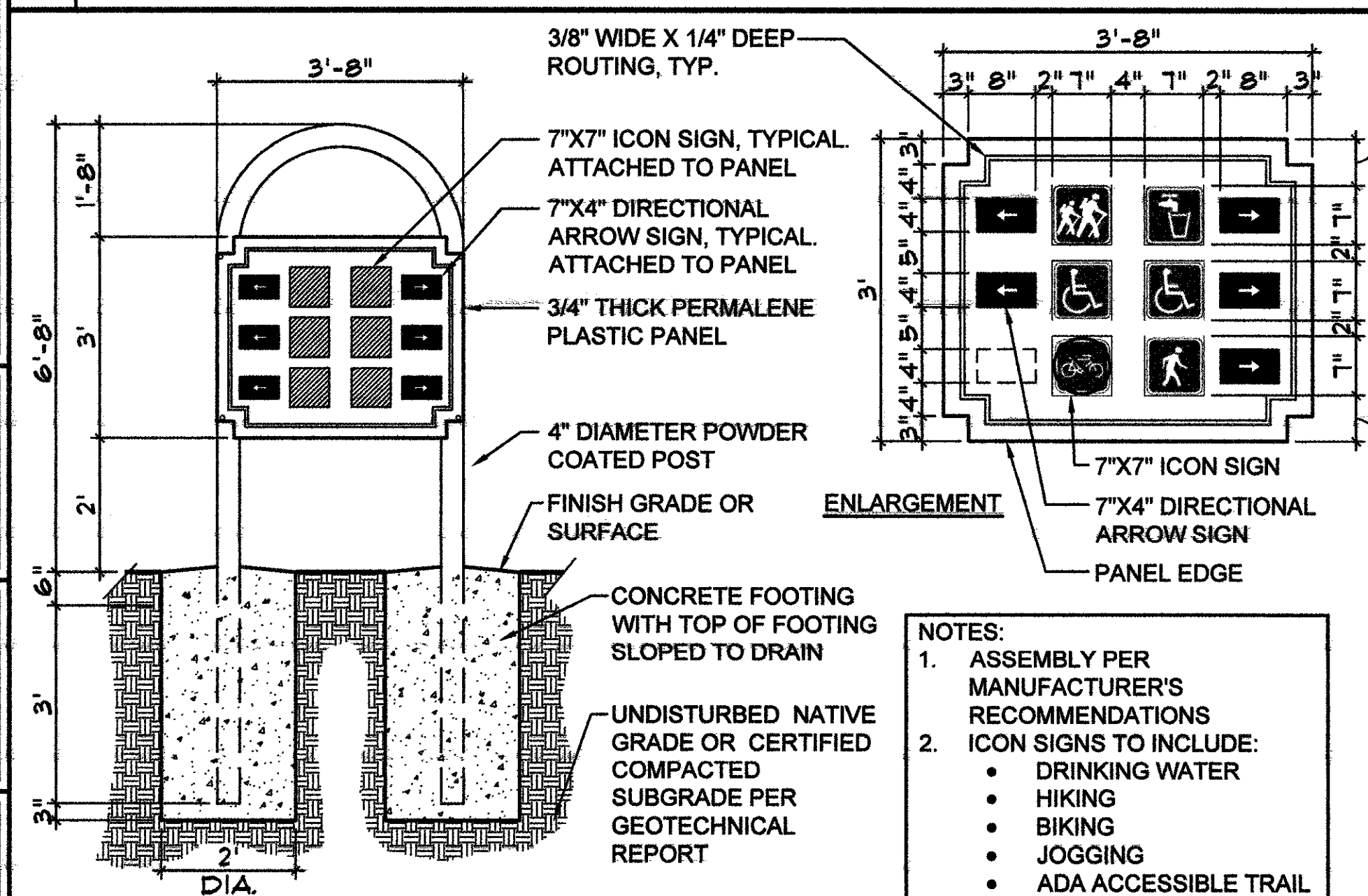
SCALE: 1/8\"/>



- 1 2 RAIL FENCE - REFER TO DETAIL 'C', SHEET L-05
- 2 3 RAIL FENCE - REFER TO DETAIL 'D', SHEET L-05 WHERE APPLICABLE
- 3 TOP OF SLOPE - REFER TO CIVIL PLANS
- 4 6\"/>

## C DIRECTIONAL / INFORMATIONAL SIGN

SCALE: 1/2\"/>



- NOTES:**
1. ASSEMBLY PER MANUFACTURER'S RECOMMENDATIONS
  2. ICON SIGNS TO INCLUDE:
    - DRINKING WATER
    - HIKING
    - BIKING
    - JOGGING
    - ADA ACCESSIBLE TRAIL

## F DRINKING FOUNTAIN LAYOUT

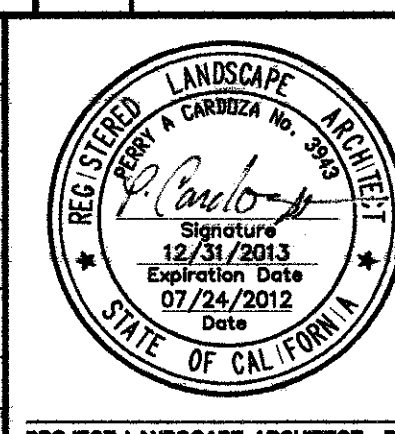
SCALE: 1/8\"/>

DATE	BY	DESCRIPTION

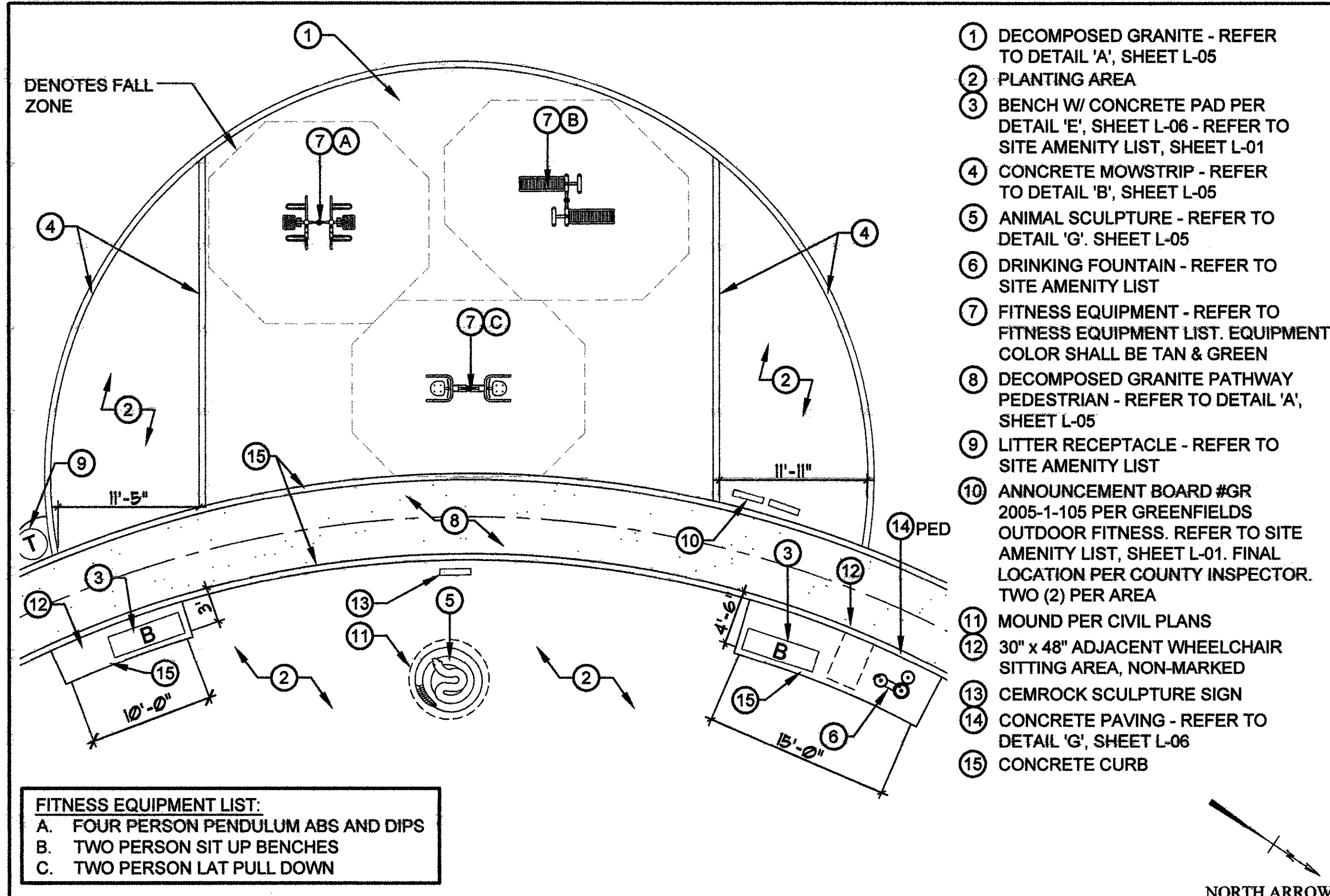
## H SLOPE & PATHWAY SECTION

SCALE: 1/2\"/>

COUNTY OF LOS ANGELES DEPARTMENT OF PUBLIC WORKS			
KENNETH HAHN EASTERN RIDGELINE			
4100 LA CIENEGA BOULEVARD, LOS ANGELES, CA 90056			
CONSTRUCTION DETAILS			
LS1112200001		L-06	
SPEC. NO. 7188		C.P. NO. 69253	
P200000655		SHEET 24 OF 46	

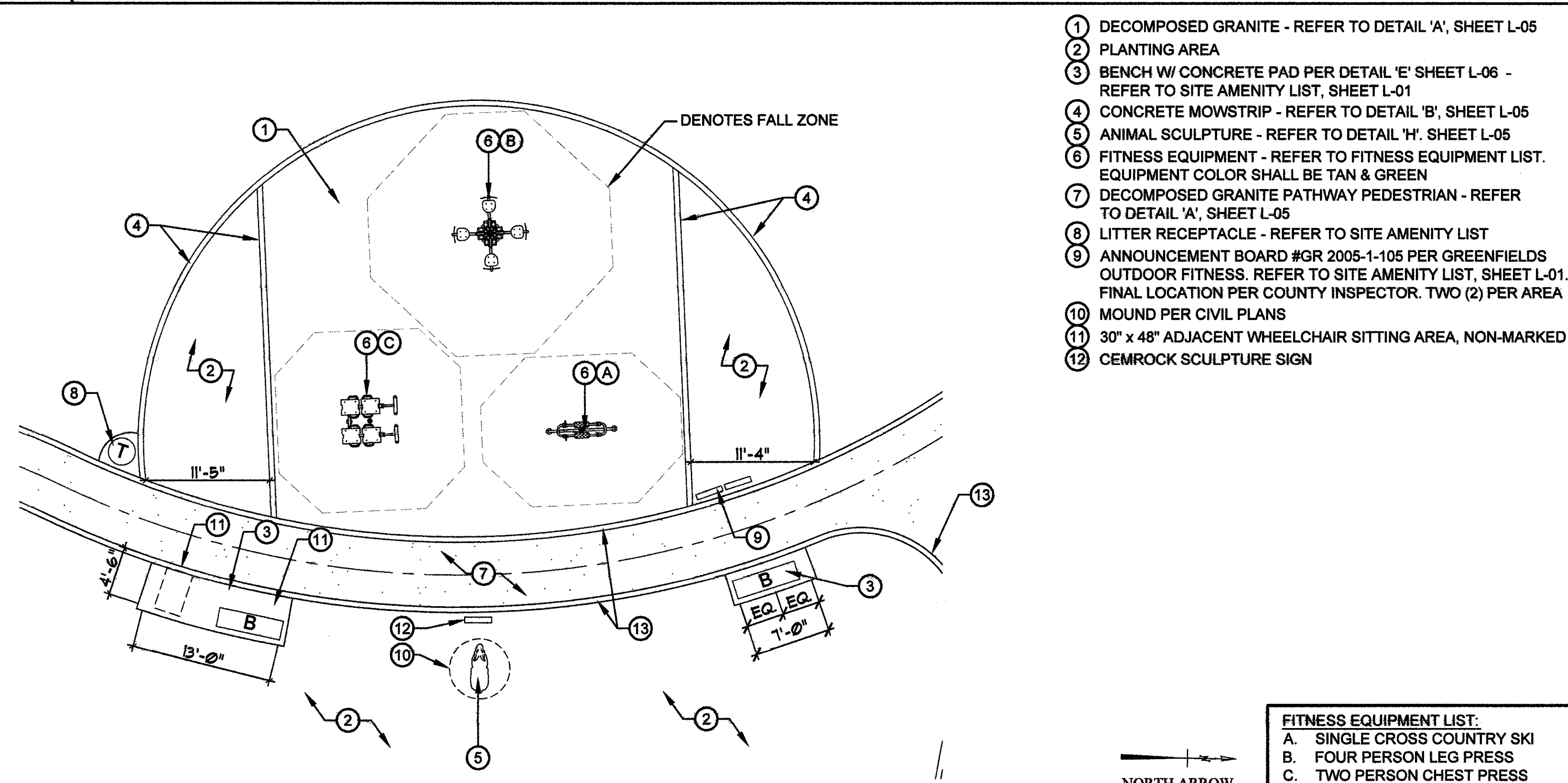






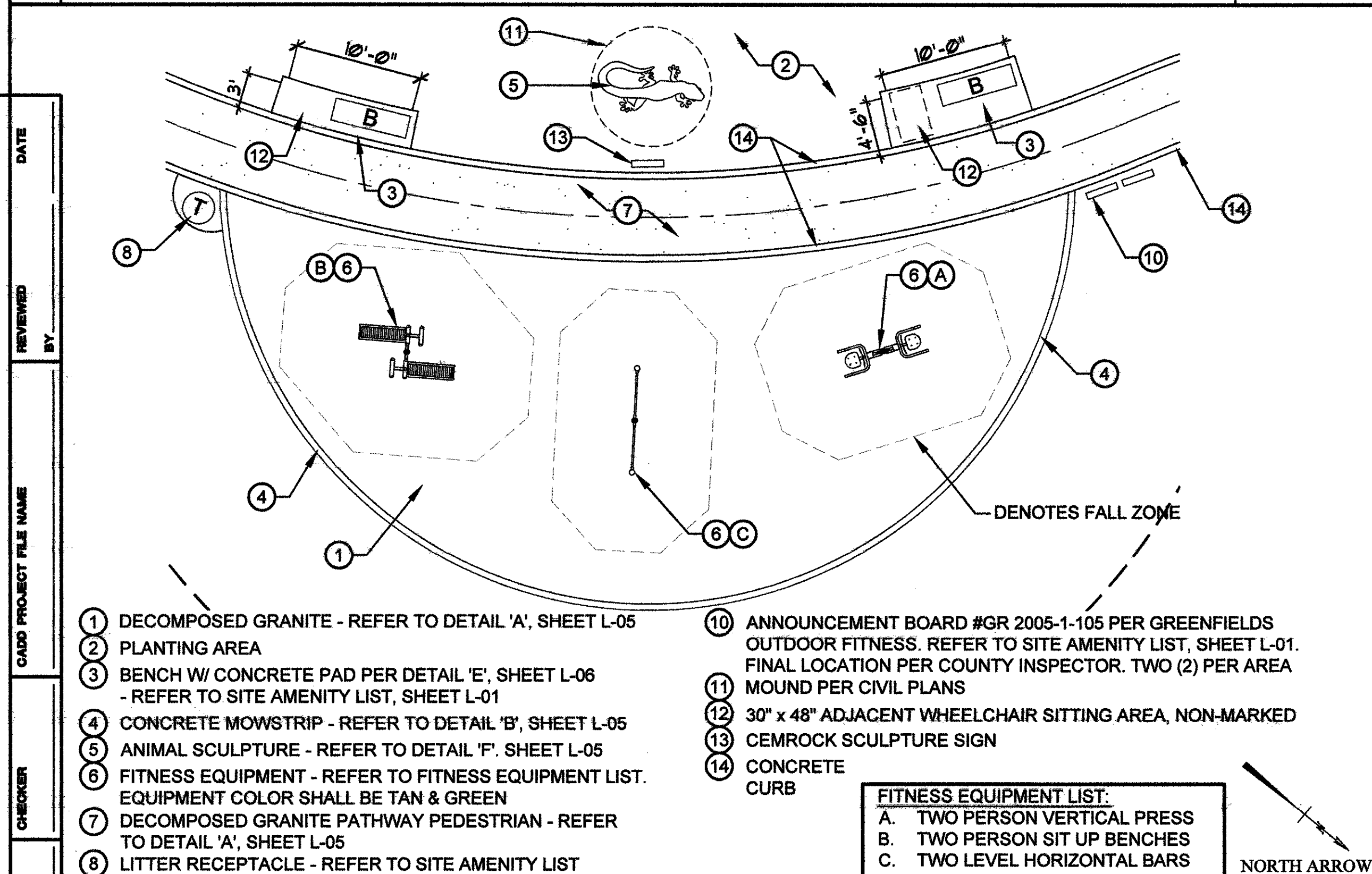
**A FITNESS AREA A ENLARGEMENT**

SCALE:  $\frac{1}{8}" = 1'-0"$



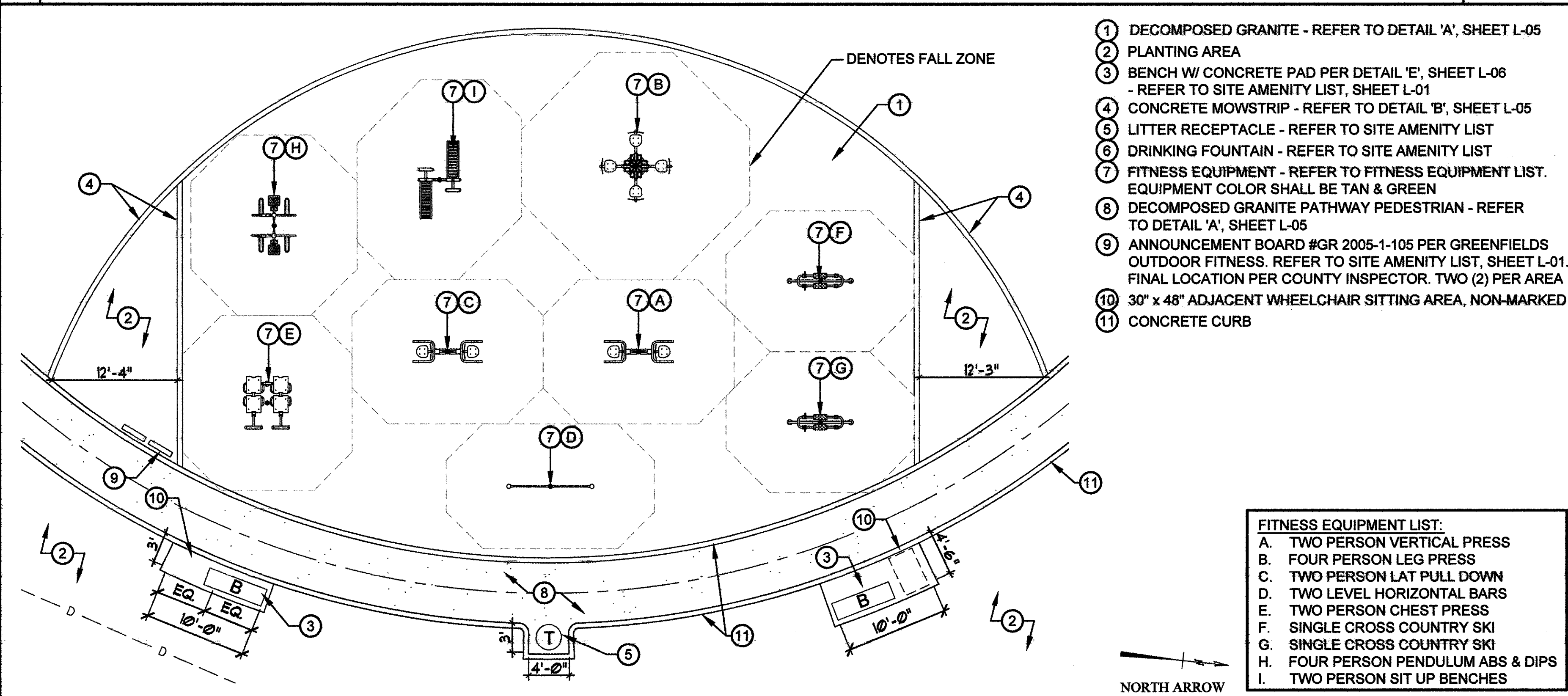
**C FITNESS AREA C ENLARGEMENT**

SCALE:  $\frac{1}{8}" = 1'-0"$



**B FITNESS AREA B ENLARGEMENT**

SCALE:  $\frac{1}{8}" = 1'-0"$



**D FITNESS AREA D ENLARGEMENT**

SCALE:  $\frac{1}{8}" = 1'-0"$

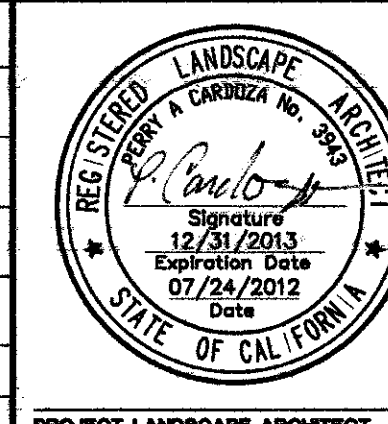
**FITNESS EQUIPMENT NOTES:**

1. INSTALL EQUIPMENT WITH POST EXTENSIONS INTO CONCRETE FOOTING & CONSTRUCT PER MANUFACTURER'S DETAILS & SPECIFICATIONS. TOP OF FOOTINGS SHALL BE A MINIMUM OF 6" BELOW FINISH GRADE OF DECOMPOSED GRANITE.
2. INSTALL ANNOUNCEMENT SIGNAGE AT LOCATION APPROVED BY ENGINEER.
3. CONTRACTOR SHALL COORDINATE WITH DISTRIBUTOR FOR DESIGN OF ARTISTIC SIGN LAYOUT, LOGO, CONTENT AND TEXT COPY. CONTRACTOR SHALL FURNISH 8"x10" LAB PROOFS OF EACH SIGN & DIGITAL HARDCOPY LAYOUT PROOFS TO COUNTY INSPECTOR FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION. CONTRACTOR SHALL INCLUDE COORDINATION WITH COUNTY DISTRIBUTOR IN THEIR BID FOR DEVELOPMENT OF SIGNS

4. PLACEMENT & FINIAL LOCATION OF EQUIPMENT SHALL BE REVIEWED & APPROVED BY ENGINEER PRIOR TO CONSTRUCTION
5. REFER TO CIVIL PLANS FOR OVERALL DIMENSIONS & FITNESS AREA LOCATION COORDINATES

**NUVIS**  
LANDSCAPE ARCHITECTURE  
AND PLANNING

DATE	MK	DESCRIPTION

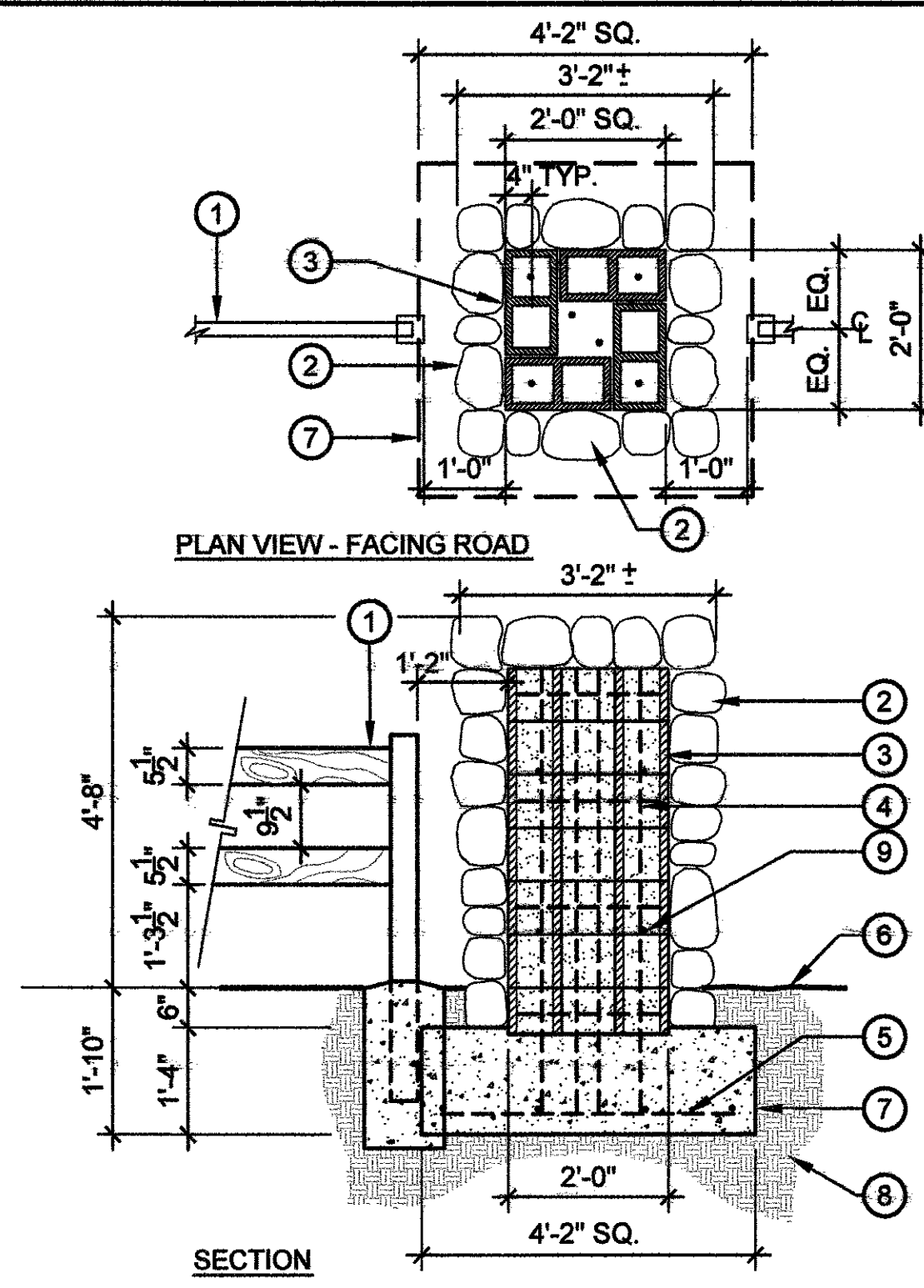


COUNTY OF LOS ANGELES DEPARTMENT OF PUBLIC WORKS  
**KENNETH HAHN EASTERN RIDGELINE**  
4100 LA CIENEGA BOULEVARD, LOS ANGELES, CA 90056  
**CONSTRUCTION DETAILS**  
LS1112200001  
SHEET 25 OF 42  
(8 of 27)



NOTES:  
1. CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR REVIEW & APPROVAL BY THE ENGINEER PRIOR TO FABRICATION / CONSTRUCTION.  
2. CONTRACTOR SHALL INCLUDE IN THEIR BID COST FOR PROVIDING SHOP DRAWINGS  
3. PILASTER & CONCRETE FOOTINGS SHALL BE CONSTRUCTED PER STRUCTURAL CALCULATION PAID FOR & PROVIDED BY CONTRACTOR. STRUCTURAL CALCULATIONS SHALL TAKE PRECEDENCE OVER DETAIL & INFORMATION NOTED HEREON

- ① 4"x10" HORIZONTAL RAIL - REFER TO DETAIL 'C', SHEET L-05. RECESS WITHIN CMU.  
② VENEER - 4"-12" RIVER ROCK TO MATCH 'SIERRA SELECT' BOULDERS AVAILABLE FROM SOUTHWEST BOULDER AND STONE, (780) 751-3333, OR APPROVED EQUAL. VENEER SHALL RECEIVE ANTI-GRAFFITI COATING. REFER TO SPECS  
③ 8x8x16 CMU - GROUT ALL CELLS  
④ #4 VERTICAL REBAR EACH CORNER & CENTER VOID  
⑤ #4 HORIZONTAL REBAR @ 16" O.C.  
⑥ FINISH GRADE  
⑦ CONCRETE FOOTING  
⑧ UNDISTURBED NATIVE GRADE OR CERTIFIED COMPACTED SUBGRADE PER GEOTECHNICAL REPORT  
⑨ #4 HORIZONTAL REBAR

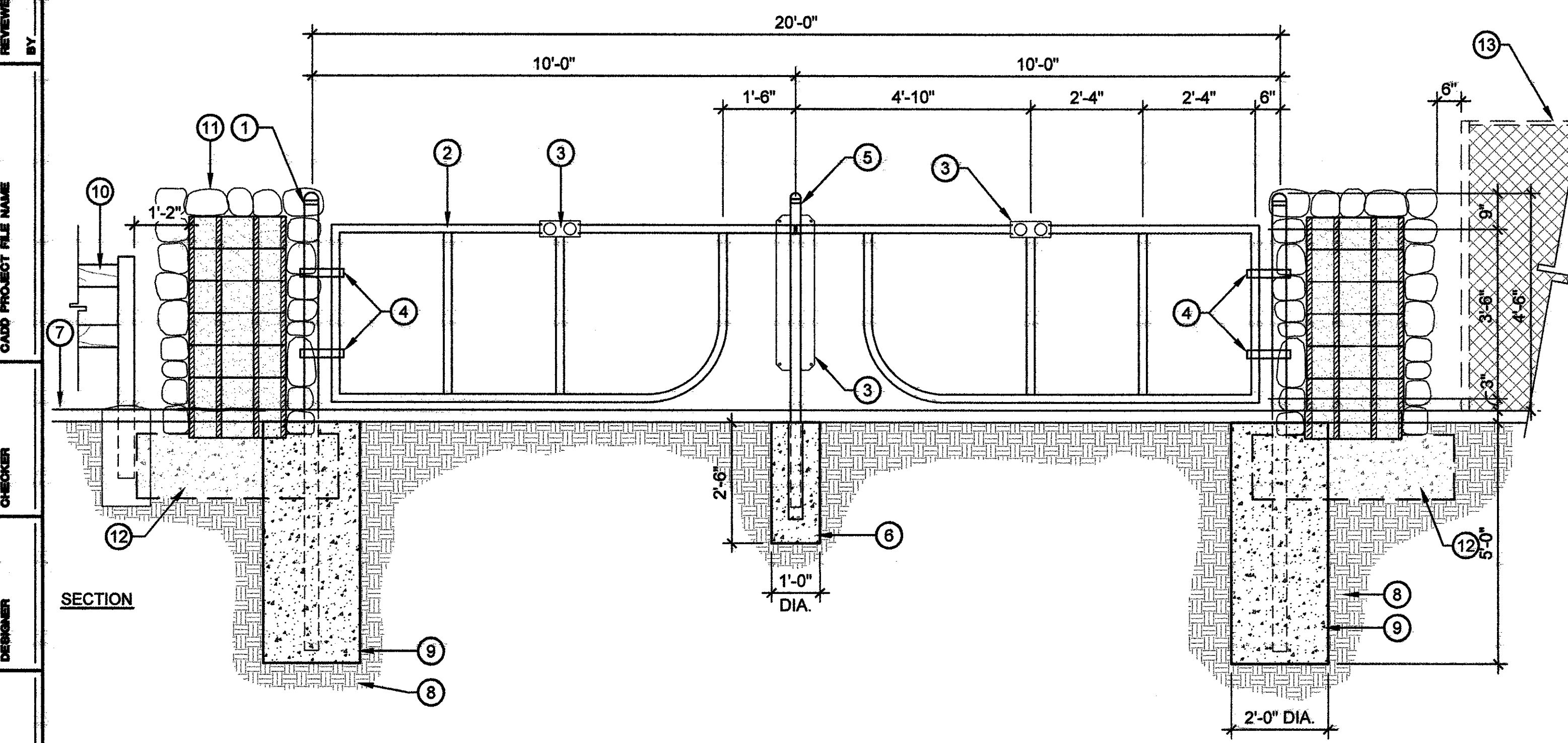


A PILASTER / RAIL FENCE

SCALE: 1/2"=1'-0"

- ① RECESS 3 1/2" DIA. POST INTO FACE OF PILASTER  
② 2" DIA. STD. GALV. PIPE  
③ WARNING SIGN  
④ GATE HINGE, TWO PER GATE  
⑤ REMOVABLE CENTER POST  
⑥ CONCRETE FOOTING  
⑦ FINISH SURFACE OR GRADE PER CONSTRUCTION AND GRADING PLANS.  
⑧ UNDISTURBED NATIVE GRADE OR CERTIFIED COMPACTED SUBGRADE PER GEOTECHNICAL REPORT  
⑨ CONCRETE FOOTING FOR GATE POST  
⑩ 2 RAIL FENCE - REFER TO DETAIL 'C', SHEET L-05  
⑪ PILASTER - REFER TO DETAIL 'A', SHEET L-08  
⑫ CONCRETE FOOTING FOR PILASTER  
⑬ EXISTING CHAIN-LINK FENCE

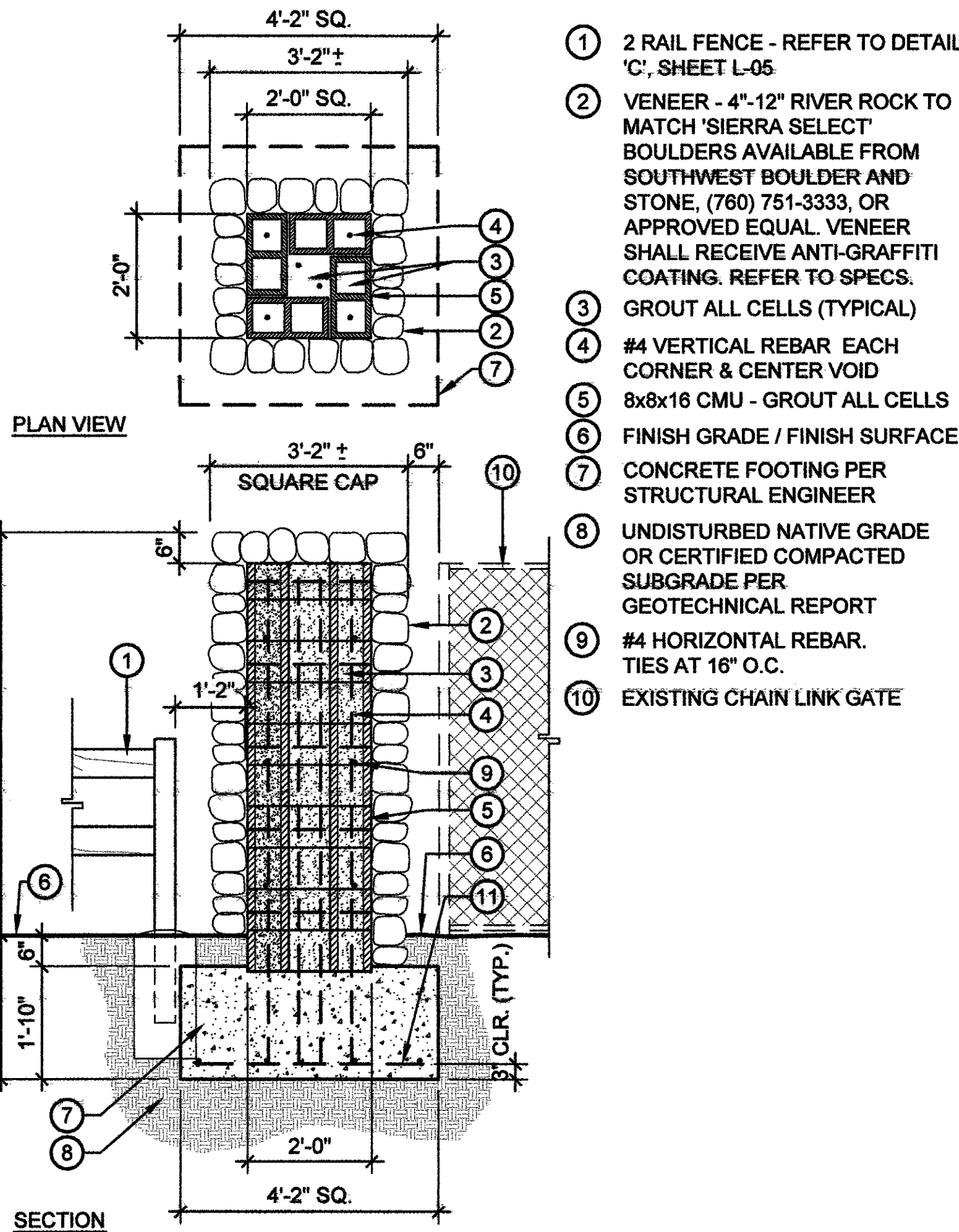
NOTES:  
1. STANDARD PIPE GATE PER AMERICAN PUBLIC WORKS ASSOCIATION STAND PLAN 602-1, SHEETS 1 & 2.  
2. METAL MEMBERS SHALL BE PAINTED WITH ONE (1) COAT ALUMINUM PAINT. COLOR TO MATCH FITNESS EQUIPMENT  
3. CONCRETE FOOTINGS SHALL BE ALLOWED TO SET FOR SEVEN (7) DAYS PRIOR TO INSTALLATION OF HARDWARE.  
4. CONTRACTOR SHALL PAY FOR & PROVIDE STRUCTURAL CALCULATIONS FOR PROPOSED CONCRETE FOOTINGS. CALCULATIONS SHALL TAKE PRECEDENCE OVER DETAILS & INFORMATION HEREON  
5. CONTRACTOR SHALL PAY FOR AND PROVIDE GALV. CHAIN & LOCK WITH KEYS TO ENGINEER AT END OF CONSTRUCTION. LOCK & KEYS TYPE SHALL BE APPROVED BY ENGINEER PRIOR TO CONSTRUCTION



B GATE

SCALE: 1/2"=1'-0"

NOTES:  
1. CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR REVIEW & APPROVAL BY THE ENGINEER PRIOR TO FABRICATION / CONSTRUCTION.  
2. CONTRACTOR SHALL INCLUDE IN THEIR BID COST FOR PROVIDING SHOP DRAWINGS & STRUCTURAL CALCULATIONS  
3. PILASTER & CONCRETE FOOTING SHALL BE CONSTRUCTED PER STRUCTURAL CALCULATION PAID FOR & PROVIDED BY CONTRACTOR. STRUCTURAL CALCULATIONS SHALL TAKE PRECEDENCE OVER DETAIL & INFORMATION NOTED HEREON

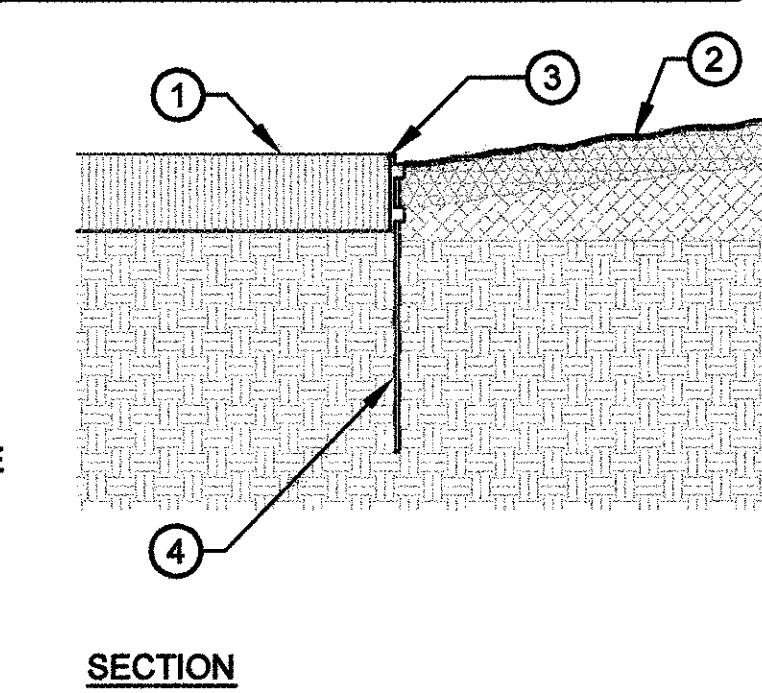


C 6'-6" PILASTER

SCALE: 1/2"=1'-0"

NOTE:  
1. STEEL EDGE AVAILABLE FROM BOARDER CONCEPTS, INC. 1-800-845-3343 OR AN APPROVED EQUAL.  
2. EDGING & STAKES TO BE FINISHED W/ ENAMEL PAINT - 2 COATS. COLOR OF PAINT SHALL BE BLACK  
3. FINISH GRADE - 2" BELOW STEEL EDGE FOR SHRUB/GROUNDCOVER AREAS; 1" BELOW AT TURF AREAS.

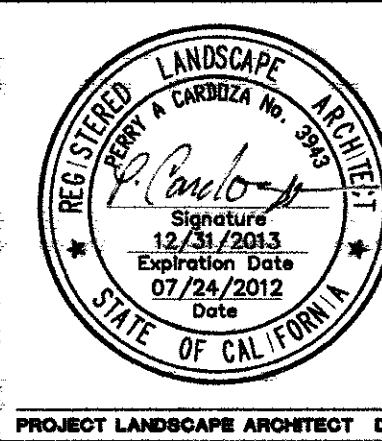
- ① D.G. PATH PER DETAIL 'A' SHEET L-05  
② FINISH GRADE  
③ STEEL EDGE 1/4" X 5"  
④ STEEL STAKE 3/16 X 15" SPACED PER MANUFACTURER RECOMMENDATIONS  
⑤ UNDISTURBED NATIVE GRADE OR CERTIFIED COMPACTED SUBGRADE PER GEOTECHNICAL REPORT



G STEEL EDGING

SCALE: N/A

NUVIS LANDSCAPE ARCHITECTURE AND PLANNING	DATE		MRK	DESCRIPTION	



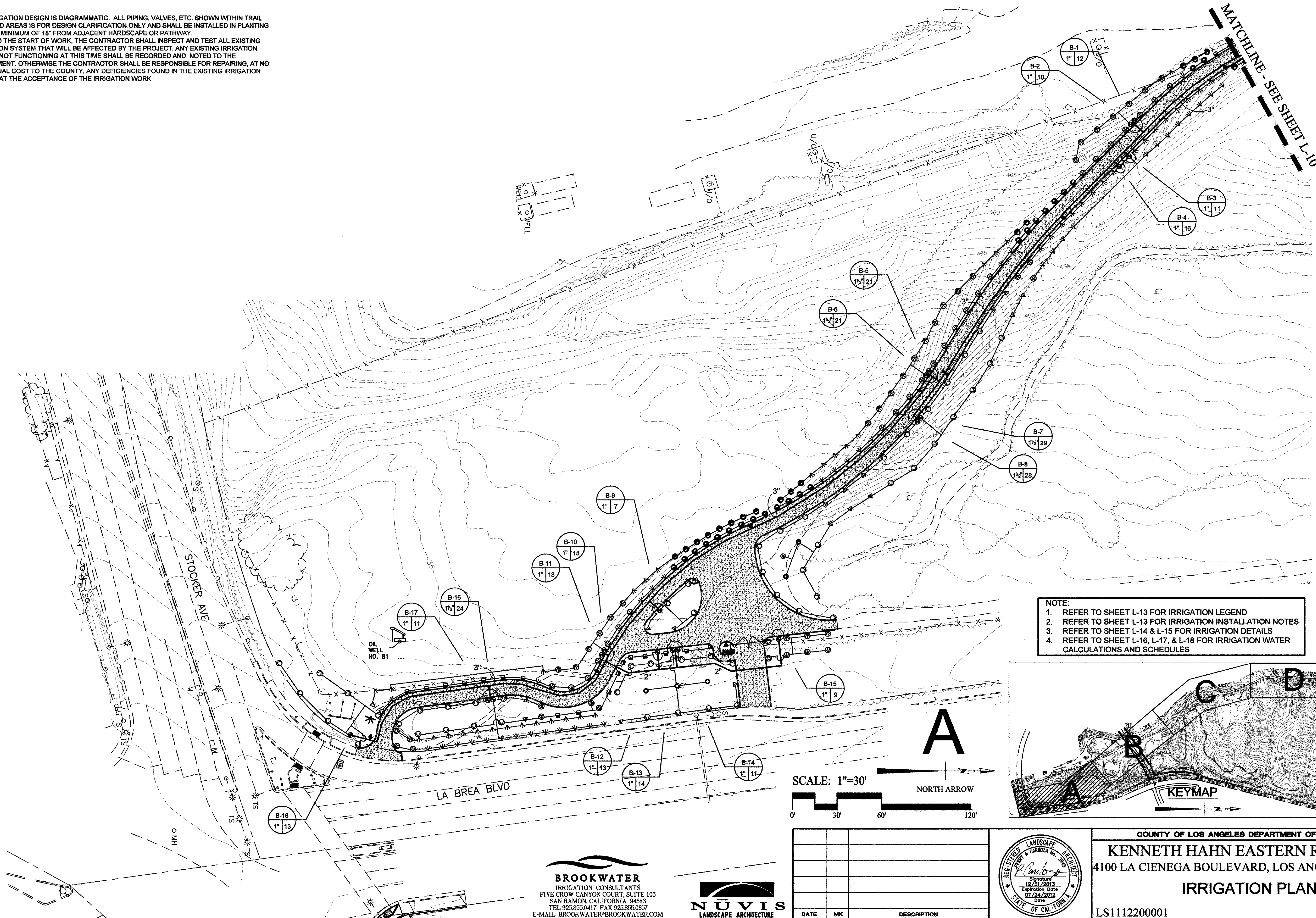
COUNTY OF LOS ANGELES DEPARTMENT OF PUBLIC WORKS			
KENNETH HAHN EASTERN RIDGELINE			
4100 LA CIENEGA BOULEVARD, LOS ANGELES, CA 90056			
CONSTRUCTION DETAILS			
LS1112200001		L-08	
SPEC. NO. 7188		C.P. NO. 69253	
P200000855		SHEET 26 OF 46	

(9 of 27)



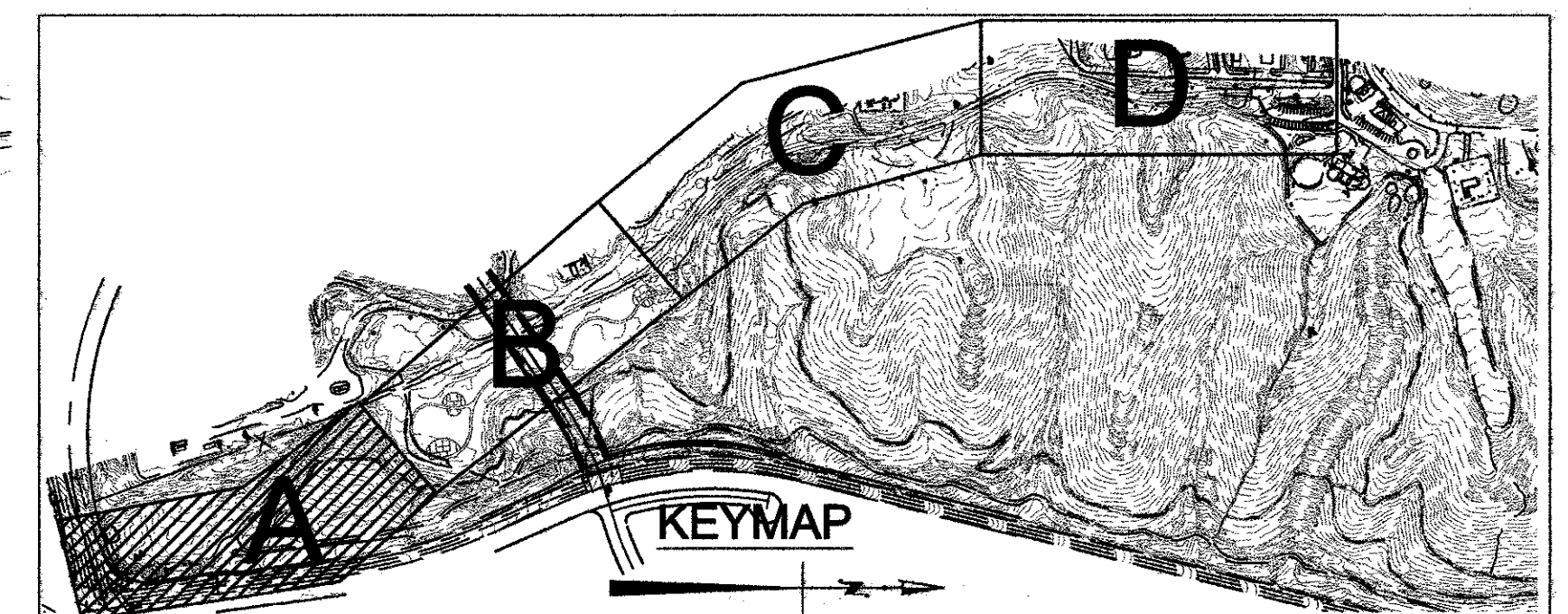
NOTE:

1. THE IRRIGATION DESIGN IS DIAGRAMMATIC. ALL PIPING, VALVES, ETC. SHOWN WITHIN TRAIL OR PAVED AREAS IS FOR DESIGN CLARIFICATION ONLY AND SHALL BE INSTALLED IN PLANTING AREAS A MINIMUM OF 18" FROM ADJACENT HARDCAPE OR PATHWAY.
2. PRIOR TO THE START OF WORK, THE CONTRACTOR SHALL INSPECT AND TEST ALL EXISTING IRRIGATION SYSTEM THAT WILL BE AFFECTED BY THE PROJECT. ANY EXISTING IRRIGATION SYSTEM NOT FUNCTIONING AT THIS TIME SHALL BE RECORDED AND NOTED TO THE DEPARTMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING, AT NO ADDITIONAL COST TO THE COUNTY, ANY DEFICIENCIES FOUND IN THE EXISTING IRRIGATION SYSTEM AT THE ACCEPTANCE OF THE IRRIGATION WORK





**NOTE:**

1. REFER TO SHEET L-13 FOR IRRIGATION LEGEND
2. REFER TO SHEET L-13 FOR IRRIGATION INSTALLATION NOTES
3. REFER TO SHEET L-14 & L-15 FOR IRRIGATION DETAILS
4. REFER TO SHEET L-16, L-17, & L-18 FOR IRRIGATION WATER CALCULATIONS AND SCHEDULES



SCALE: 1"=30'

NORTH ARROW



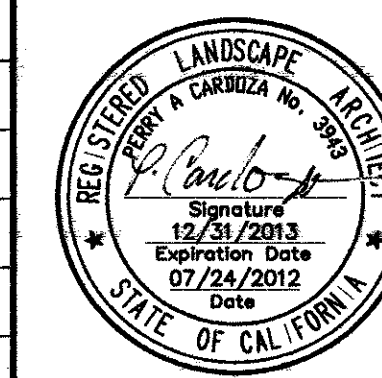
**BROOKWATER**  
IRRIGATION CONSULTANTS  
FIVE CROW CANYON COURT, SUITE 105  
SAN RAMON, CALIFORNIA 94583  
TEL 925.855.0417 FAX 925.855.0357  
E-MAIL [BROOKWATER@BROOKWATER.COM](mailto:BROOKWATER@BROOKWATER.COM)



**NUVIS**  
LANDSCAPE ARCHITECTURE  
AND PLANNING

DATE	MK	DESCRIPTION
<b>REVISIONS</b>		



**COUNTY OF LOS ANGELES DEPARTMENT OF PUBLIC WORKS**  
**KENNETH HAHN EASTERN RIDGELINE**  
**4100 LA CIENEGA BOULEVARD, LOS ANGELES, CA 90056**

## IRRIGATION PLAN

LS1112200001

**L-09**

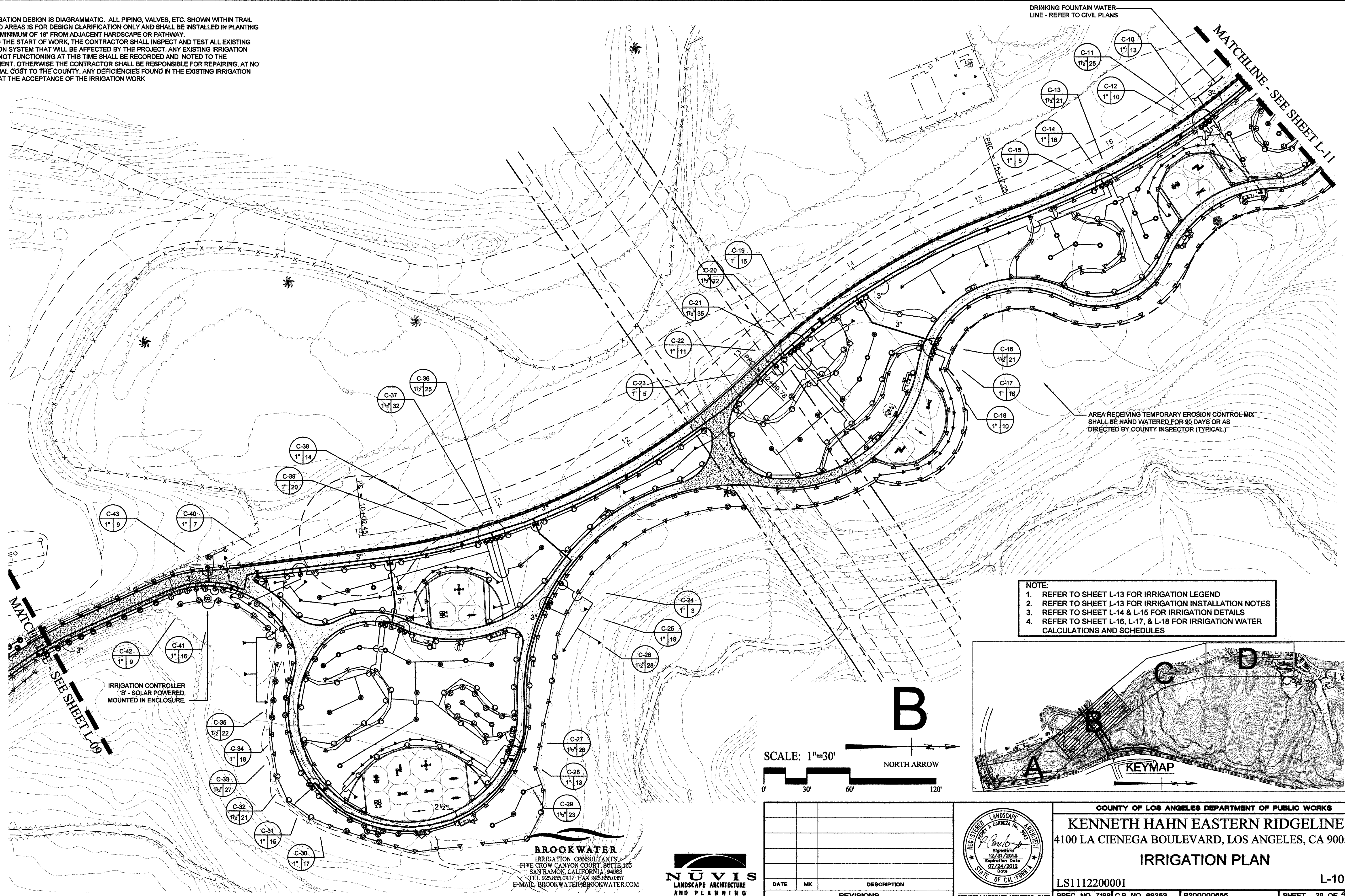
DATE	SPEC. NO. 7188	C.P. NO. 69253	P200000655
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**SHEET 27 OF 46**

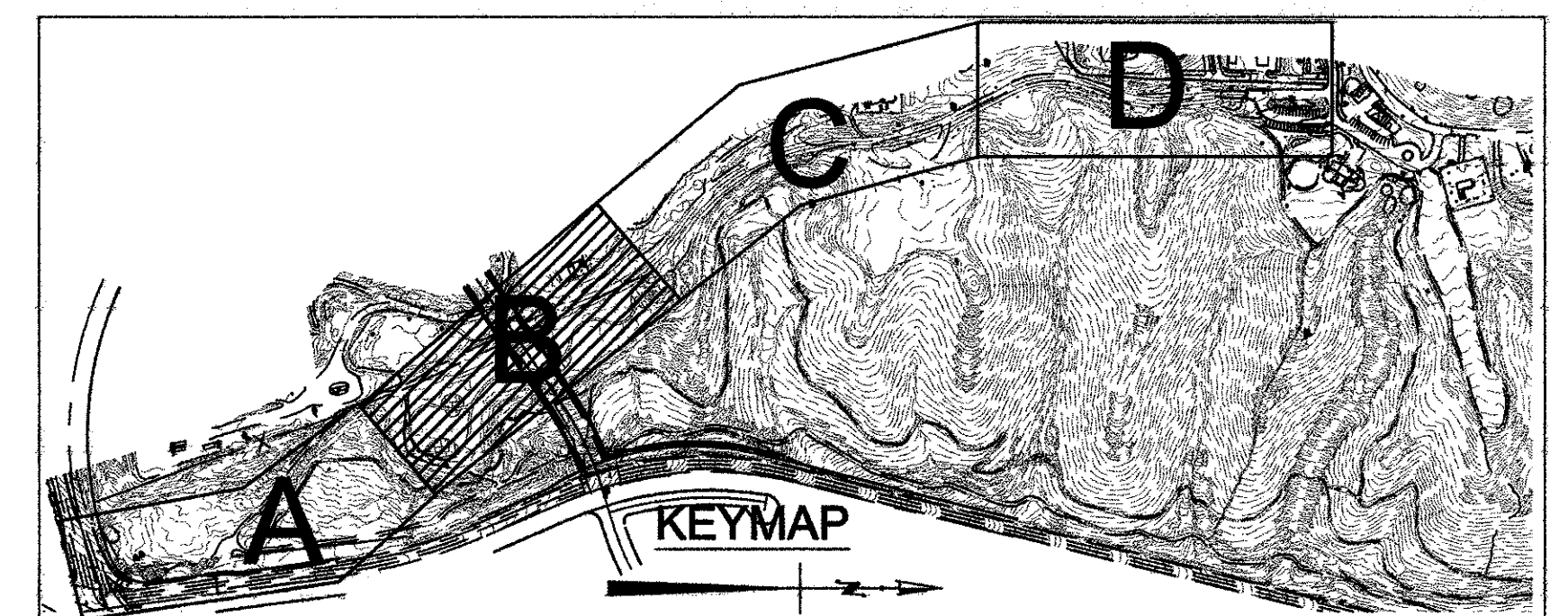
(10 of 27)



- NOTE:
1. THE IRRIGATION DESIGN IS DIAGRAMMATIC. ALL PIPING, VALVES, ETC. SHOWN WITHIN TRAIL OR PAVED AREAS IS FOR DESIGN CLARIFICATION ONLY AND SHALL BE INSTALLED IN PLANTING AREAS A MINIMUM OF 18" FROM ADJACENT HARDSCAPE OR PATHWAY.
  2. PRIOR TO THE START OF WORK, THE CONTRACTOR SHALL INSPECT AND TEST ALL EXISTING IRRIGATION SYSTEM THAT WILL BE AFFECTED BY THE PROJECT. ANY EXISTING IRRIGATION SYSTEM NOT FUNCTIONING AT THIS TIME SHALL BE RECORDED AND NOTED TO THE DEPARTMENT. OTHERWISE THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING, AT NO ADDITIONAL COST TO THE COUNTY, ANY DEFICIENCIES FOUND IN THE EXISTING IRRIGATION SYSTEM AT THE ACCEPTANCE OF THE IRRIGATION WORK



- NOTE:
1. REFER TO SHEET L-13 FOR IRRIGATION LEGEND
  2. REFER TO SHEET L-13 FOR IRRIGATION INSTALLATION NOTES
  3. REFER TO SHEET L-14 & L-15 FOR IRRIGATION DETAILS
  4. REFER TO SHEET L-16, L-17, & L-18 FOR IRRIGATION WATER CALCULATIONS AND SCHEDULES

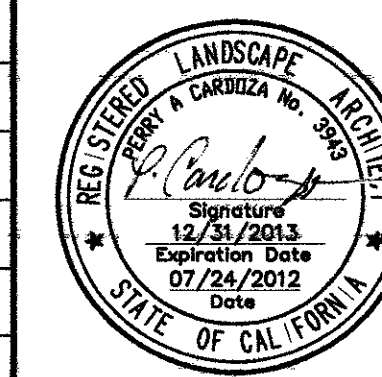


SCALE: 1"=30'

NORTH ARROW

**BROOKWATER**  
IRRIGATION CONSULTANTS  
FIVE CROW CANYON COURT, SUITE 105  
SAN RAMON, CALIFORNIA 94583  
TEL: 925.855.9477 FAX: 925.855.0577  
E-MAIL: BROOKWATER@BROOKWATER.COM

**NUVIS**  
LANDSCAPE ARCHITECTURE  
AND PLANNING



COUNTY OF LOS ANGELES DEPARTMENT OF PUBLIC WORKS			
<b>KENNETH HAHN EASTERN RIDGELINE</b>			
4100 LA CIENEGA BOULEVARD, LOS ANGELES, CA 90056			
<b>IRRIGATION PLAN</b>			
LS1112200001		L-10	
SPEC. NO. 7188	C.P. NO. 89253	P200000855	SHEET 28 OF 46

DATE	REVIEWED BY	CADD PROJECT FILE NAME	CHECKER	DESIGNER	DRAWN



NOTE A:

1. POINT OF CONNECTION SHALL BE TO AN EXISTING 3" PVC SCH. 40 IRRIGATION MAINLINE. (SEE SHEET L-12 FOR LOCATION OF EXISTING BOOSTER PUMP, BACKFLOW PREVENTER, MASTER VALVE, AND FLOW SENSOR. FOR MORE INFORMATION ON EXISTING IRRIGATION, REFER TO SHEETS I-8 AND I-9 OF EXISTING IRRIGATION PLANS DATED 3/12/98 LOCATED AT THE END OF THIS PACKAGE.)
2. VERIFY THE ACTUAL LOCATION, SIZE AND WATER PRESSURE (OF P.O.C.) IN THE FIELD PRIOR TO STARTING WORK.
3. THE SYSTEM IS DESIGNED TO OPERATE MULTIPLE VALVES SIMULTANEOUSLY, NOT TO EXCEED 80 GPM TOTAL.
4. IF ANY OF THE P.O.C. INFORMATION SHOWN ON THESE DRAWINGS IS FOUND TO BE DIFFERENT THAN THE ACTUAL P.O.C. INFORMATION GATHERED IN THE FIELD, IMMEDIATELY NOTIFY THE COUNTY INSPECTOR. SHOULD THE CONTRACTOR FAIL TO VERIFY THE P.O.C. INFORMATION ANY CHANGES REQUIRED BY LOW PRESSURE OR VOLUME SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

DESIGN WATER PRESSURE : 110 PSI  
MAXIMUM SYSTEM DEMAND : 80 GPM

NOTE B:

1. EXISTING CONTROLLER LOCATION SHOWN ON THIS DRAWING IS APPROXIMATE. THE CONTRACTOR SHALL VERIFY THE CONTROLLER LOCATION PRIOR TO BID AND INSTALLATION OF SYSTEM.
2. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING AND PROTECTING IN PLACE THE EXISTING CONTROLLER, ELECTRICAL CONNECTION FROM 120 VOLT POWER SOURCE TO THE EXISTING CONTROLLER, ALL EXISTING WIRE CONNECTIONS FROM ALL EXISTING VALVES TO TERMINAL STRIP. THE CONTRACTOR IS RESPONSIBLE FOR REPORTING ALL NON-WORKING REMOTE CONTROL VALVES TO THE COUNTY. IF THE CONTRACTOR FAILS TO REPORT NON-WORKING VALVES, THEY SHALL BE RESPONSIBLE FOR REPAIRS PRIOR TO ACCEPTANCE OF THE PROJECT.
3. THE CONTRACTOR SHALL MAKE SURE THAT ALL EXISTING REMOTE CONTROL VALVES, BOOSTER PUMP, MASTER VALVE, AND FLOW SENSOR ARE FUNCTIONING PROPERLY AND ARE CONNECTED TO THE EXISTING CONTROLLER.
4. THE CONTRACTOR SHALL RUN NEW CONTROL, COMMON, AND SPARE WIRES FROM EXISTING CONTROLLER TO VALVES X-27 THROUGH X-31 AND MAKE ALL NECESSARY CONNECTIONS. WIRES SHALL BE INSTALLED INSIDE A PVC SLEEVE, SIZE PER NOTES
5. ALL ELECTRICAL WORK SHALL CONFORM TO LOCAL STATE AND NATIONAL ELECTRICAL CODES AND REGULATIONS.
6. THE CONTRACTOR SHALL PROVIDE WATER PROOF WIRE SPLICE INSIDE A NEW PULL BOX TO PROVIDE 120 VOLT ELECTRICAL FOR THE NEW CONTROLLER 'C'.

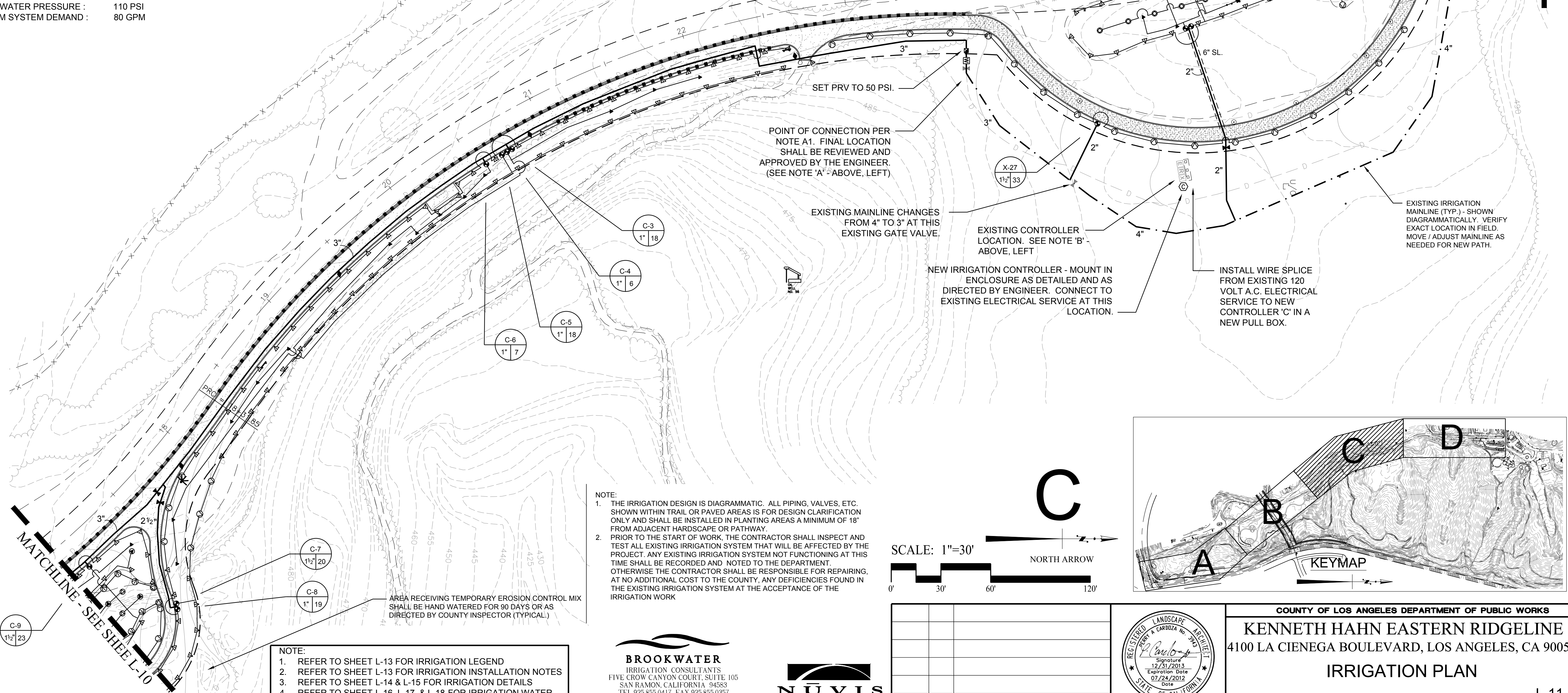
EXISTING SPRINKLER HEAD NOTES:

1. CONTRACTOR SHALL ADJUST EXISTING SPRINKLER HEADS AS NECESSARY TO ACCOMMODATE INSTALLATION OF PATHWAY.
2. REMOVE OR RELOCATE ALL EXISTING HEADS SHOWN ON THESE PLANS. QUANTITY AND LOCATION OF EXISTING HEADS SHOWN IS APPROXIMATE BASED ON FIELD OBSERVATION. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING EXACT HEAD LOCATIONS IN THE FIELD PRIOR TO START OF WORK.
3. HEAD LAYOUT OF NEW SPRINKLER HEADS IS A RECOMMENDATION, THE CONTRACTOR SHALL PROVIDE AN IRRIGATION HEAD LAYOUT THAT WILL PROVIDE HEAD TO HEAD COVERAGE.
4. ADDITIONAL FULL CIRCLE HEADS CAN BE ADDED TO THE NEW VALVES SHOWN AS NEEDED (DO NOT EXCEED 50 GPM ON A 1 1/2" VALVE.)
5. EXISTING REMOTE CONTROL VALVES AND SPRINKLER HEADS THAT ARE TO BE ADDED OR RELOCATED SHALL BE NEW. ANY EQUIPMENT THAT IS REMOVED SHALL BE RETURNED TO THE COUNTY FOR RE-USE.
6. SPRINKLER HEAD RELOCATION/REPLACEMENT SHALL BE COMPLETED IN A MANNER TO PROTECT THE EXISTING EQUIPMENT AND KEEP THE SYSTEM OPERATIONAL FOR THE DURATION OF PROJECT CONSTRUCTION.

NOTE:  
CONTRACTOR TO FOLLOW LOS ANGELES COUNTY RULES, REGULATIONS & STANDARD PLANS FOR POTABLE WATER CONSTRUCTION REQUIREMENTS.

MATCHLINE - SEE SHEET L-12

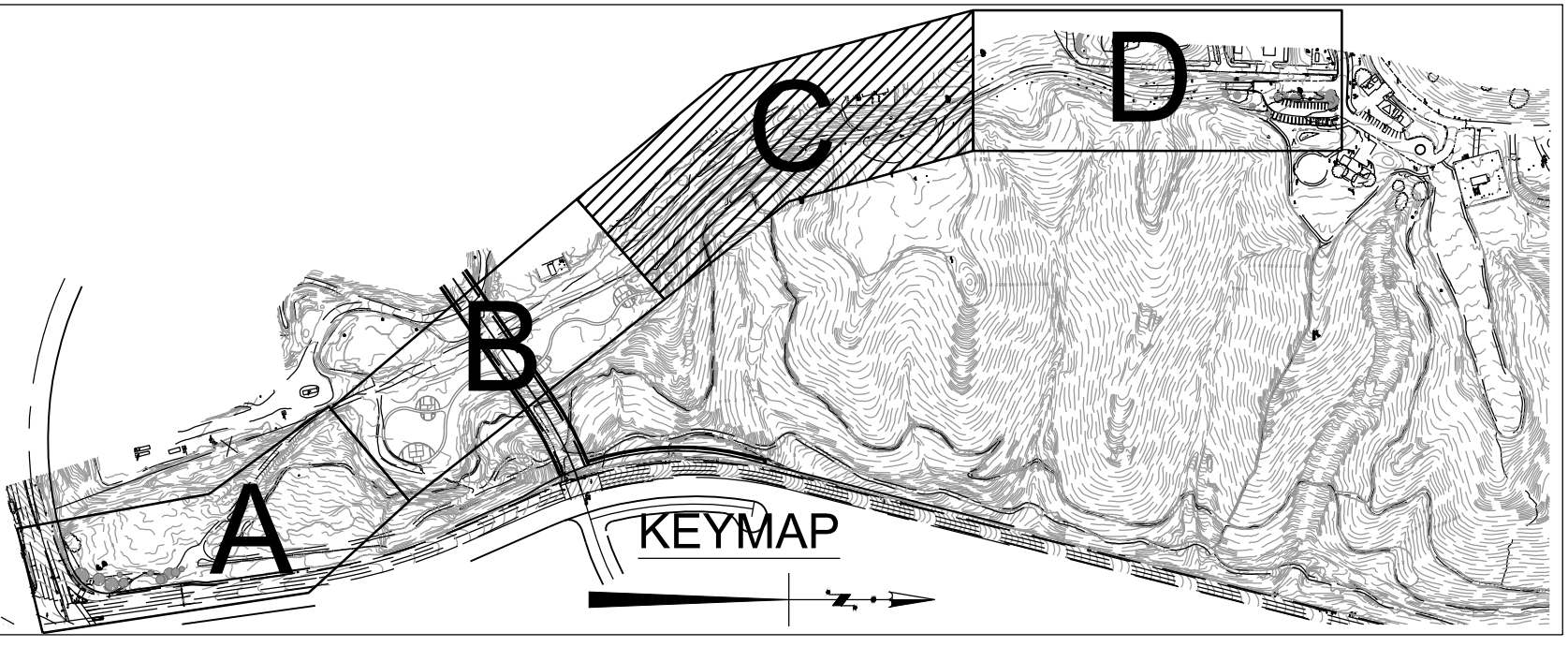
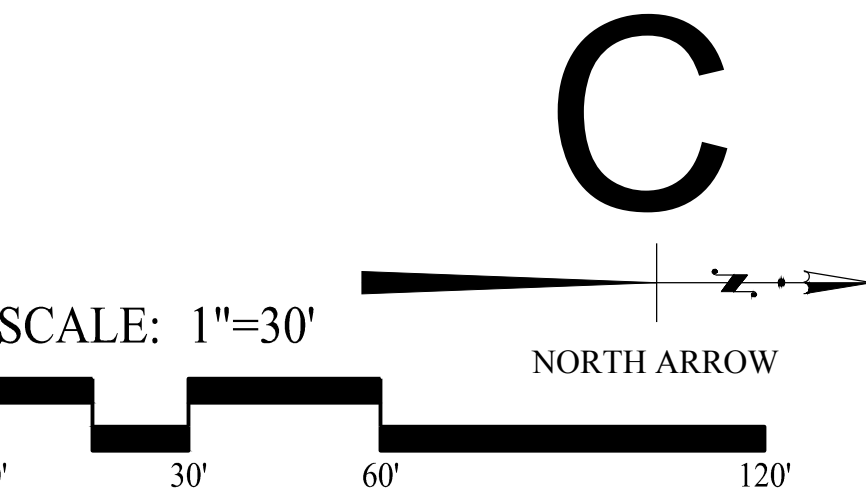
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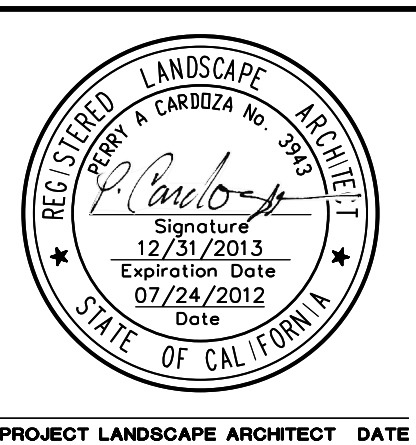
NOTE:  
1. THE IRRIGATION DESIGN IS DIAGRAMMATIC. ALL PIPING, VALVES, ETC. SHOWN WITHIN TRAIL OR PAVED AREAS IS FOR DESIGN CLARIFICATION ONLY AND SHALL BE INSTALLED IN PLANTING AREAS A MINIMUM OF 18" FROM ADJACENT HARDSCAPE OR PATHWAY.  
2. PRIOR TO THE START OF WORK, THE CONTRACTOR SHALL INSPECT AND TEST ALL EXISTING IRRIGATION SYSTEM THAT WILL BE AFFECTED BY THE PROJECT. ANY EXISTING IRRIGATION SYSTEM NOT FUNCTIONING AT THIS TIME SHALL BE RECORDED AND NOTED TO THE DEPARTMENT. OTHERWISE THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING, AT NO ADDITIONAL COST TO THE COUNTY, ANY DEFICIENCIES FOUND IN THE EXISTING IRRIGATION SYSTEM AT THE ACCEPTANCE OF THE IRRIGATION WORK

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AND PLANNING

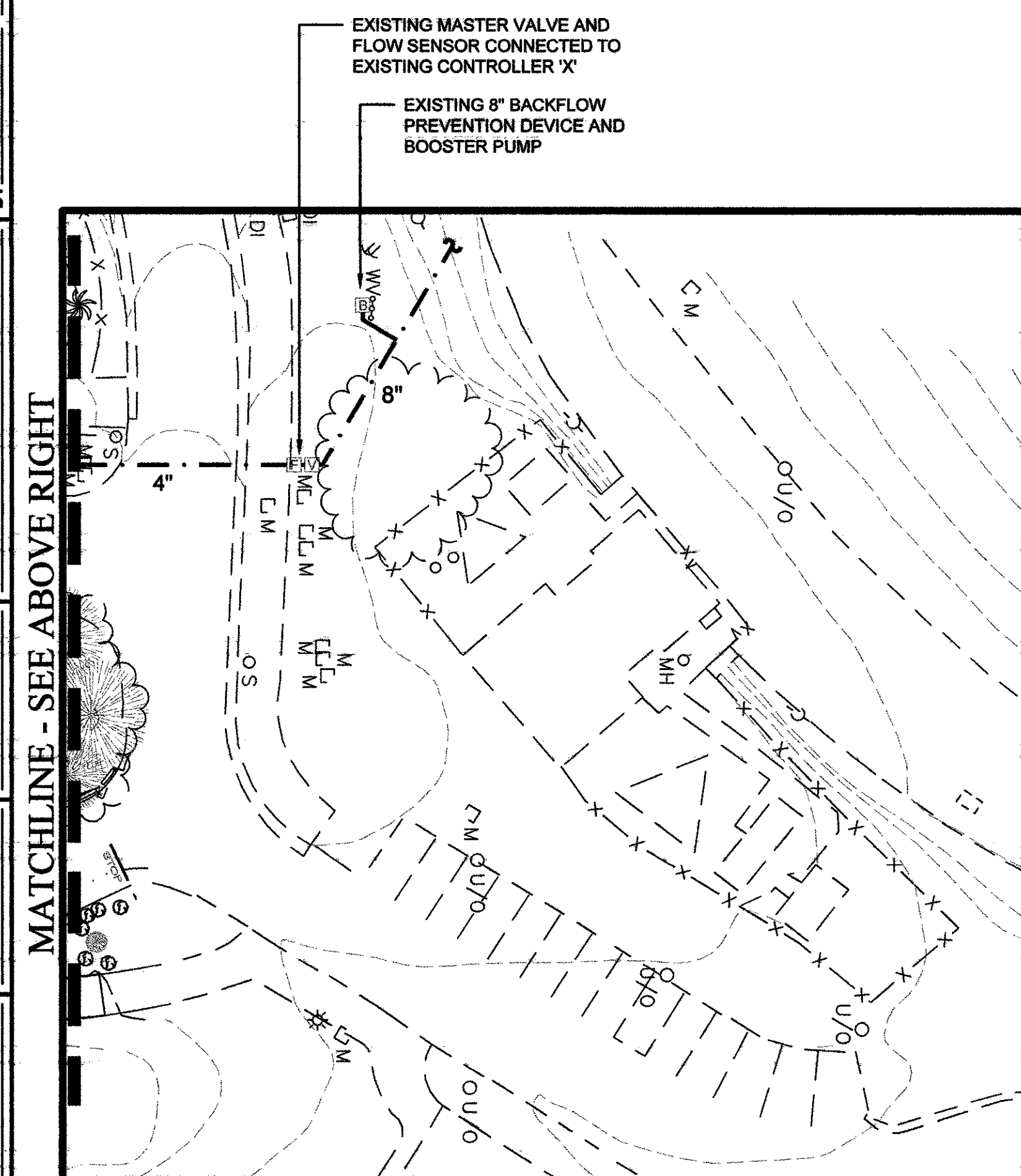


DATE	MK	DESCRIPTION
		REVISIONS



COUNTY OF LOS ANGELES DEPARTMENT OF PUBLIC WORKS			
<b>KENNETH HAHN EASTERN RIDGELINE</b>			
4100 LA CIENEGA BOULEVARD, LOS ANGELES, CA 90056			
<b>IRRIGATION PLAN</b>			
LS1112200001			L-11
SPEC. NO. 7188	C.P. NO. 69253	P200000655	SHEET 29 OF 48





1. CONTRACTOR SHALL ADJUST EXISTING SPRINKLER HEADS AS NECESSARY TO ACCOMMODATE INSTALLATION OF PATHWAY.
2. REMOVE OR RELOCATE ALL EXISTING HEADS SHOWN ON THESE PLANS. QUANTITY AND LOCATION OF EXISTING HEADS SHOWN IS APPROXIMATE BASED ON FIELD OBSERVATION. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING EXACT HEAD LOCATIONS IN THE FIELD PRIOR TO START OF WORK.
3. HEAD LAYOUT OF NEW SPRINKLER HEADS IS A RECOMMENDATION, THE CONTRACTOR SHALL PROVIDE AN IRRIGATION HEAD LAYOUT THAT WILL PROVIDE HEAD TO HEAD COVERAGE.
4. ADDITIONAL FULL CIRCLE HEADS CAN BE ADDED TO THE NEW VALVES SHOWN AS NEEDED (DO NOT EXCEED 50 GPM ON A 1 1/2" VALVE.)
5. EXISTING REMOTE CONTROL VALVES AND SPRINKLER HEADS THAT ARE TO BE ADDED OR RELOCATED SHALL BE NEW. ANY EQUIPMENT THAT IS REMOVED SHALL BE RETURNED TO THE COUNTY FOR RE-USE.
6. SPRINKLER HEAD RELOCATION/REPLACEMENT SHALL BE COMPLETED IN A MANNER TO PROTECT THE EXISTING EQUIPMENT AND KEEP THE SYSTEM OPERATIONAL FOR THE DURATION OF PROJECT CONSTRUCTION.

NOTE:

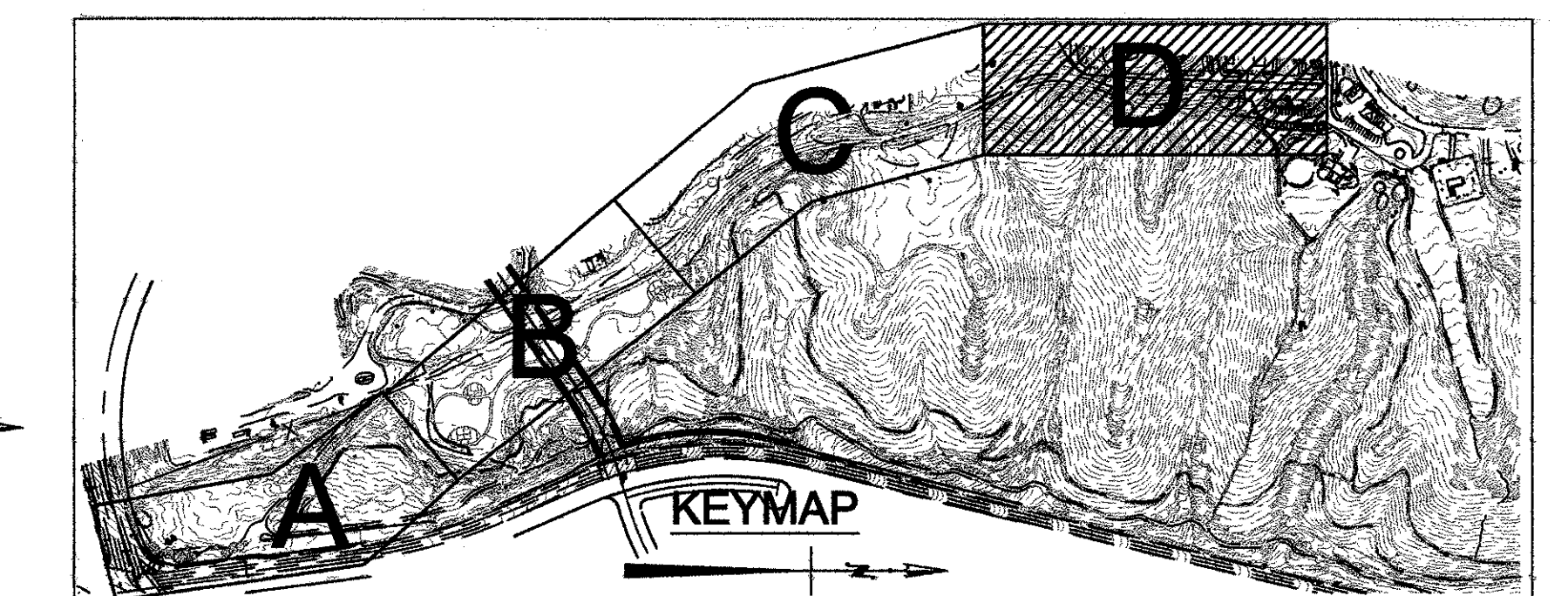
1. REFER TO SHEET L-13 FOR IRRIGATION LEGEND
2. REFER TO SHEET L-13 FOR IRRIGATION INSTALLATION NOTES
3. REFER TO SHEET L-14 & L-15 FOR IRRIGATION DETAILS
4. REFER TO SHEET L-16, L-17, & L-18 FOR IRRIGATION WATER CALCULATIONS AND SCHEDULES



**NŪVIS**  
LANDSCAPE ARCHITECTURE  
AND PLANNING

A north arrow pointing upwards and a scale bar marked from 0' to 120' in increments of 30'.

DATE	MK	DESCRIPTION
<b>REVISIONS</b>		



1. THE IRRIGATION DESIGN IS DIAGRAMMATIC. ALL PIPING, VALVES, ETC. SHOWN WITHIN TRAIL OR PAVED AREAS IS FOR DESIGN CLARIFICATION ONLY AND SHALL BE INSTALLED IN PLANTING AREAS A MINIMUM OF 18" FROM ADJACENT HARDSCAPE OR PATHWAY.

TE	SPEC. NO. 7188	C.P. NO. 69253	P200000855
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SHEET 30 OF 46



IRRIGATION INSTALLATION NOTES

- DATE

REVIEWED BY

DATE

DESIGNER

DRAFTER
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- THE CONTRACTOR SHALL REVIEW RELATED DRAWINGS AND SHALL ENSURE COORDINATION WITH ALL APPLICABLE TRADES PRIOR TO SUBMITTING BID.

THE IRRIGATION SYSTEM SHALL BE INSTALLED IN CONFORMANCE WITH ALL APPLICABLE STATE AND LOCAL CODES AND ORDINANCES BY LICENSED CONTRACTORS AND EXPERIENCED WORKMEN. CONTRACTOR SHALL OBTAIN AND PAY FOR ALL REQUIRED PERMITS AND FEES RELATING TO HIS WORK.

PRIOR TO START OF WORK, THE CONTRACTOR SHALL TEST ALL EXISTING IRRIGATION SYSTEM COMPONENTS THAT WILL BE AFFECTED BY THE PROJECT. ANY EXISTING IRRIGATION SYSTEM COMPONENTS NOT FUNCTIONING AT THIS TIME SHALL BE RECORDED AND THE DEPARTMENT NOTIFIED. OTHERWISE THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING, AT NO ADDITIONAL COST TO THE COUNTY, ANY DEFICIENCIES FOUND IN THE EXISTING IRRIGATION SYSTEM AT THE ACCEPTANCE OF THE IRRIGATION WORK.

THIS DESIGN IS DIAGRAMMATIC. ALL PIPING, VALVES, ETC. SHOWN WITHIN PAVED AREAS IS FOR DESIGN CLARIFICATION ONLY AND SHALL BE INSTALLED IN PLANTING AREAS A MINIMUM OF 18" FROM ADJACENT HARDSCAPE. AVOID ANY CONFLICTS BETWEEN THE SPRINKLER SYSTEM, PLANTING AND ARCHITECTURAL FEATURES. PARALLEL PIPES MAY BE INSTALLED IN COMMON TRENCH. PIPES ARE NOT TO BE INSTALLED DIRECTLY ABOVE ONE ANOTHER.

DO NOT WILLFULLY INSTALL THE SPRINKLER SYSTEM AS SHOWN ON THE DRAWINGS WHEN IT IS OBVIOUS IN THE FIELD THAT OBSTRUCTIONS, GRADE DIFFERENCES OR DIFFERENCES IN THE AREA DIMENSIONS EXIST THAT MIGHT NOT HAVE BEEN CONSIDERED IN THE ENGINEERING. SUCH OBSTRUCTIONS OR DIFFERENCES SHOULD BE BROUGHT TO THE ATTENTION OF THE COUNTY'S AUTHORIZED REPRESENTATIVE. IN THE EVENT THAT THIS NOTIFICATION IS NOT PERFORMED, THE IRRIGATION CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY REVISIONS NECESSARY.

IT IS THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR TO FAMILIARIZE HIMSELF WITH ALL GRADE DIFFERENCES, LOCATION OF WALLS, RETAINING WALLS, ETC. HE SHALL COORDINATE HIS WORK WITH THE GENERAL CONTRACTOR AND OTHER SUBCONTRACTORS FOR THE LOCATION AND THE INSTALLATION OF PIPE SLEEVES THROUGH WALLS, UNDER ROADWAYS, PAVING, STRUCTURES, ETC. CONTRACTOR TO VERIFY THE LOCATION OF EXISTING UNDERGROUND UTILITIES AND STRUCTURES PRIOR TO THE EXCAVATION OF TRENCHES. CONTRACTOR IS TO REPAIR ANY DAMAGE CAUSED BY HIS WORK AT NO ADDITIONAL COST TO THE OWNER.

DUE TO THE SCALE OF THE DRAWINGS, IT IS NOT POSSIBLE TO INDICATE ALL OFFSETS, FITTINGS, SLEEVES, ETC., WHICH MAY BE REQUIRED. THE CONTRACTOR SHALL CAREFULLY INVESTIGATE THE STRUCTURAL AND FINISHED CONDITIONS AFFECTING ALL OF HIS WORK AND PLAN HIS WORK ACCORDINGLY, FURNISHING SUCH FITTINGS, ETC., AS MAY BE REQUIRED TO MEET SUCH CONDITIONS. DRAWINGS ARE GENERALLY DIAGRAMMATIC AND INDICATIVE OF THE WORK TO BE INSTALLED. THE WORK SHALL BE INSTALLED IN SUCH A MANNER AS TO AVOID CONFLICTS BETWEEN IRRIGATION SYSTEMS, PLANTING, AND ARCHITECTURAL FEATURES.

IRRIGATION CONTROL WIRE SHALL BE #14, U.L. APPROVED FOR DIRECT BURIAL. COMMON WIRE SHALL BE #12 U.L. APPROVED AND SHALL BE WHITE IN COLOR. WIRING TO INDIVIDUAL REMOTE CONTROL VALVES SHALL BE COLOR OTHER THAN WHITE.

EACH CONTROLLER SHALL HAVE ITS OWN INDEPENDENT GROUND WIRE.

REMOTE CONTROL VALVES SHALL BE WIRED TO CONTROLLER IN SEQUENCE AS SHOWN ON PLANS. RUN WIRE FROM EACH RCV TO THE CONTROLLER. SPLICING WIRES TOGETHER OUTSIDE OF VALVE BOXES WILL NOT BE PERMITTED.

SPLICING OF 24-VOLT WIRES WILL NOT BE PERMITTED EXCEPT IN VALVE BOXES. LEAVE A 36" COIL OF EXCESS WIRE AT EACH SPLICE AND 100 FEET ON CENTER ALONG WIRE RUN. TAPE WIRE IN BUNDLES 10 FEET ON CENTER. NO TAPING PERMITTED INSIDE SLEEVES.

INSTALL ONE (1) SPARE CONTROL WIRE FOR EVERY 6 (SIX) STATIONS ON THE CONTROLLER ALONG THE ENTIRE MAIN LINE. SPARE WIRES SHALL BE THE SAME COLOR (ONE WITH A WHITE STRIPE) AND OF A DIFFERENT COLOR THAN OTHER CONTROL WIRES. LOOP 36" EXCESS WIRE INTO EACH SINGLE VALVE BOX AND INTO ONE VALVE BOX IN EACH GROUP OF VALVES.

INSTALL VALVE BOXES MINIMUM 12" FROM AND PERPENDICULAR TO WALK, CURB, OR LANDSCAPE FEATURE. AT MULTIPLE VALVE BOX GROUPS, EACH BOX SHALL BE AN EQUAL DISTANCE FROM THE WALK, CURB, ETC. AND EACH BOX SHALL BE MINIMUM 12" APART. SHORT SIDE OF VALVE BOXES SHALL BE PARALLEL TO WALK, CURB, ETC.

REMOTE CONTROL VALVES AND ISOLATION VALVE LOCATIONS ON THIS DRAWING ARE APPROXIMATE. THE CONTRACTOR SHALL STAKE OUT EACH REMOTE CONTROL VALVE AND ISOLATION VALVE LOCATION FOR REVIEW AND APPROVAL BY THE COUNTY INSPECTOR PRIOR TO

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- LOCATE QUICK COUPLING VALVE 12" FROM HARDSCAPE AREA.

ALL SPRINKLER HEADS SHALL BE SET PERPENDICULAR TO FINISH GRADE OF THE AREA TO BE IRRIGATED UNLESS OTHERWISE DESIGNATED ON THE PLANS. DO NOT USE SIDE INLET ON ALL POP-UP SPRAY HEADS.

THE IRRIGATION CONTRACTOR SHALL FLUSH AND ADJUST ALL SPRINKLER HEADS FOR OPTIMUM PERFORMANCE AND TO PREVENT OVERSPRAY ONTO WALKS, ROADWAYS AND/OR BUILDINGS AS MUCH AS POSSIBLE. THIS SHALL INCLUDE SELECTING THE BEST DEGREE OF FIXED ARC (OR AN ADJUSTABLE ARC IF FIXED ARC DOES NOT MATCH THE ARC TO BE IRRIGATED) TO FIT THE SITE CONDITIONS AND TO THROTTLE THE FLOW CONTROL AT EACH VALVE TO OBTAIN THE OPTIMUM OPERATING PRESSURE FOR EACH SYSTEM. ALL MAIN LINES SHALL BE FLUSHED PRIOR TO THE INSTALLATION OF IRRIGATION HEADS. AT 30 DAYS AFTER INSTALLATION EACH SYSTEM SHALL BE FLUSHED TO ELIMINATE GLUE AND DIRT PARTICLES FROM THE LINES.

WHEN VERTICAL OBSTRUCTIONS (STREET LIGHTS, TREES, FIRE HYDRANTS, ETC.) INTERFERE WITH THE SPRAY PATTERN OF THE HEADS SO AS TO PREVENT PROPER COVERAGE, THE IRRIGATION CONTRACTOR SHALL FIELD ADJUST THE SPRINKLER SYSTEM BY INSTALLING A QUARTER, THIRD OR HALF CIRCLE HEAD AT THE SIDES OF THE OBSTRUCTION SO AS TO PROVIDE PROPER COVERAGE. ALL ADJUSTMENTS SHALL BE MADE AT NO ADDITIONAL COST TO THE COUNTY.

NOTIFY COUNTY INSPECTOR OF ANY ASPECTS OF LAYOUT THAT WILL PROVIDE INCOMPLETE OR INSUFFICIENT WATER COVERAGE OF PLANT MATERIAL AND DO NOT PROCEED UNTIL HIS INSTRUCTIONS ARE OBTAINED. REPAIR ALL EXISTING MATERIALS DAMAGED DURING CONSTRUCTION.

LOCATE BUBBLERS ON UPHILL SIDE OF TREES. TREE BUBBLERS ARE FOR ESTABLISHMENT AND DROUGHT CONDITIONS. THEY ARE TO BE TURNED OFF AFTER TREES ARE ESTABLISHED AND TURNED ON DURING DROUGHT CONDITIONS.

IN ADDITION TO THE SLEEVES AND CONDUITS SHOWN ON THE DRAWINGS, THE IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE INSTALLATION OF SLEEVES AND CONDUITS OF SUFFICIENT SIZE UNDER ALL PAVED AREAS.

SLEEVES SHALL BE MINIMUM 2X DIAMETER OF PIPE SLEEVES. ALL CONTROL WIRE SHALL BE INSTALLED IN A SEPARATE 2-INCH CONDUIT UNDER PAVING. SLEEVEING SHALL EXTEND MINIMUM 12" BEYOND PAVING.

ALL EXCAVATIONS ARE TO BE FILLED WITH COMPACTED BACKFILL. CONTRACTOR TO REPAIR ALL SETTLED TRENCHES PROMPTLY, FOR A PERIOD OF 1 YEAR AFTER COMPLETION OF WORK. ADDITIONALLY, CONTRACTOR SHALL WARRANT THAT THE IRRIGATION SYSTEM WILL BE FREE FROM DEFECTS IN MATERIALS AND WORKMANSHIP FOR A PERIOD OF 1 YEAR AFTER FINAL ACCEPTANCE OF WORK.

THE SPRINKLER SYSTEM DESIGN IS BASED ON THE MINIMUM OPERATING PRESSURE SHOWN ON THE IRRIGATION DRAWINGS. THE IRRIGATION CONTRACTOR SHALL VERIFY WATER PRESSURE PRIOR TO CONSTRUCTION. REPORT ANY DIFFERENCE BETWEEN THE WATER PRESSURE INDICATED ON THE DRAWINGS AND THE ACTUAL PRESSURE READING AT THE IRRIGATION POINT OF CONNECTION TO THE COUNTY'S AUTHORIZED REPRESENTATIVE.

IRRIGATION DEMAND: REFER TO SHEET L-16.

CONTACT WEATHERTRAK CUSTOMER SERVICE AT 1-800-362-8774 FOR PURCHASE AND ACTIVATION OF ET EVERYWHERE DATA SERVICE. CONTRACTOR IS RESPONSIBLE FOR INPUTTING SITE DATA INTO CONTROLLER, ACTIVATION, AND TWO YEAR SUBSCRIPTION.

OPERATE IRRIGATION CONTROLLER(S) BETWEEN THE HOURS OF 10:00 PM AND 7:00 AM.

IRRIGATION CONTRACTOR SHALL PROVIDE AND PAY FOR INSPECTION AND TESTING OF EXISTING BACKFLOW PREVENTION DEVICE AND DRINKING FOUNTAINS. INSPECTION SHALL BE PERFORMED BY AN INSPECTOR CERTIFIED BY LOS ANGELES COUNTY DEPARTMENT OF HEALTH SERVICES (LACDHS). THE INSPECTION CERTIFICATION SHALL BE COMPLETED AND SUBMITTED TO THE WATER PURVEYOR, AND A COPY SHALL BE SUBMITTED TO THE COUNTY INSPECTOR AND LACDHS.

THE CONTRACTOR SHALL NOTIFY UNDERGROUND SERVICE ALERT AT 811 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION.

IRRIGATION LEGEND

SYMBOL	MODEL NUMBER	DESCRIPTION	PSI	GPM	MAX. RADIUS	MAX. SPACING	DETAIL NO.
☉	1812-SAM-P45-MP3000-360	RAIN BIRD POP-UP SHRUB SPRAY W/ MP ROTATOR NOZZLE	30	3.64	30'	27'	L-14/A
☑	1812-SAM-P45-MP3000-90	RAIN BIRD POP-UP SHRUB SPRAY W/ MP ROTATOR NOZZLE	30	.86-2.12	30'	27'	L-14/A
☉	1812-SAM-P45-MP2000-360	RAIN BIRD POP-UP SHRUB SPRAY W/ MP ROTATOR NOZZLE	30	1.47	19'	18'	L-14/A
▼	1812-SAM-P45-MP2000-90	RAIN BIRD POP-UP SHRUB SPRAY W/ MP ROTATOR NOZZLE	30	.40-.86	19'	18'	L-14/A
☉	1812-SAM-P45-MP1000-360	RAIN BIRD POP-UP SHRUB SPRAY W/ MP ROTATOR NOZZLE	30	.75	14'	13'	L-14/A
☑	1812-SAM-P45-MP1000-90	RAIN BIRD POP-UP SHRUB SPRAY W/ MP ROTATOR NOZZLE	30	.19-.43	14'	13'	L-14/A
▼	1812-SAM-P45-MPCORNER	RAIN BIRD POP-UP SHRUB SPRAY W/ MP ROTATOR NOZZLE	30	.19-.45	14'	13'	L-14/A
☉	1812-SAM-P45-MPSS530	RAIN BIRD POP-UP SHRUB SPRAY W/ MP ROTATOR NOZZLE	30	.44	5x30'	5x28'	L-14/A
◆	1812-SAM-P45-MPxCS515	RAIN BIRD POP-UP SHRUB SPRAY W/ MP ROTATOR NOZZLE	30	.22	5x15'	5x14'	L-14/A
☉ ☑ ☑	1812-SAM-PRS-OT-15F,H,Q	RAIN BIRD POP-UP SHRUB SPRAY W/ TORO PRECISION NOZZLE	30	2.31,1.16,.58	15'	14'	L-14/A
☉ ▼	1812-SAM-PRS-OT-12F,H	RAIN BIRD POP-UP SHRUB SPRAY W/ TORO PRECISION NOZZLE	30	1.48,.74	12'	11'	L-14/A
☉	1812-SAM-PRS-OT-10H	RAIN BIRD POP-UP SHRUB SPRAY W/ TORO PRECISION NOZZLE	30	.51	10'	9'	L-14/A
▼ ▼	1812-SAM-PRS-OT-5H,Q	RAIN BIRD POP-UP SHRUB SPRAY W/ TORO PRECISION NOZZLE	30	.13,.06	5'	5'	L-14/A
■	1812-SAM-PRS-OT-4X30SST	RAIN BIRD POP-UP SHRUB SPRAY W/ TORO PRECISION NOZZLE	30	.66	4'X30'	4'X20'	L-14/A
■	1812-SAM-PRS-OT-4X15LCS	RAIN BIRD POP-UP SHRUB SPRAY W/ TORO PRECISION NOZZLE	30	.33	4'X15'	4'X10'	L-14/A
▲	RWS-B-C-1402-GRATE	RAIN BIRD ROOT WATERING SYSTEM - INSTALL TWO PER TREE	30	.50	-	-	L-14/B+C
☉	EFB-CP-PRS-D SERIES	RAIN BIRD BRASS REMOTE CONTROL VALVE WITH PRESSURE REGULATION. INSTALL IN EISEL ENTERPRISES 363 CONCRETE VALVE BOX WITH HINGED CAST IRON COVER MARKED "ICV."					L-14/F
◆	44NP	RAIN BIRD QUICK COUPLING VALVE. INSTALL IN EISEL ENTERPRISES 10 CONCRETE VALVE BOX WITH CAST IRON COVER MARKED "WATER."					L-14/E
⌘	T-113 or P-619-RW	NIBCO GATE VALVE (LINE SIZE) - 3" OR LARGER USE P-619-RW WITH OPERATING NUT. INSTALL IN EISEL ENTERPRISES 10 CONCRETE VALVE BOX WITH CAST IRON COVER MARKED "WATER."					L-14/D
■	500L - 3"	WILKINS PRESSURE REDUCING VALVE WITH IRROMETER PRESSURE GAUGES					L-15/L
☉	HS16-WTPRO2SC48S/ HSRSE-MC	WEATHERTRAK ET PRO 2 48 STATION CONTROLLER IN FRONT ENTRY PEDESTAL HEAVY DUTY ENCLOSURE WITH RAIN SENSOR MOUNTED ON 10' GALVANIZED STEEL POLE ADJACENT TO CONTROLLER. (CONTACT ERIK ANDERSON AT HYDROSCAPE (949-285-4048) FOR ORDERING AND INSTALLATION INFORMATION.)					L-15/J
☉	HS22-WTPRO2SC24S-SOLAR2 / HSRSE-MC	WEATHERTRAK ET PRO 2 24 STATION CONTROLLER IN FRONT ENTRY PEDESTAL HEAVY DUTY ENCLOSURE WITH RAIN SENSOR MOUNTED ON 10' GALVANIZED STEEL POLE ADJACENT TO CONTROLLER. CONTROLLER SHALL BE SOLAR POWERED AND INCLUDES SOLAR PANELS AND INVERTER. (CONTACT ERIK ANDERSON AT HYDROSCAPE (949-285-4048) FOR ORDERING AND INSTALLATION INFORMATION.)					L-15/J
C-1		CONTROLLER AND STATION NUMBER					
1"	15	APPROXIMATE GALLONS PER MINUTE					
		REMOTE CONTROL VALVE SIZE					
		MAIN LINE: 2 1/2" AND LARGER: 1120-CLASS 315 PLASTIC PIPE WITH SCHEDULE 40 PVC SOLVENT WELD FITTINGS. 2" AND SMALLER: 1120- SCHEDULE 40 PVC PLASTIC PIPE WITH SCHEDULE 40 PVC SOLVENT WELD FITTINGS. 30" COVER.					L-15/H
		LATERAL LINE: 1120-SCHEDULE 40 PVC SOLVENT WELD PIPE WITH SCHEDULE 40 PVC SOLVENT WELD FITTINGS. 18" COVER.					L-15/H
		SLEEVE (SL): 1120-200 PSI PVC PLASTIC PIPE. 36" COVER.					

EXISTING IRRIGATION LEGEND

SYMBOL	DESCRIPTION
☉	SPRINKLER HEAD
⌘	ISOLATION VALVE
☉	BACKFLOW PREVENTION ASSEMBLY AND BOOSTER PUMPS
☑	MASTER REMOTE CONTROL VALVE
☑	FLOW SENSOR
☑	RAIN SENSOR
☑	WEATHERTRAK 36 STATION CONTROLLER (10 AVAILABLE STATIONS)
☑	120 VOLT ELECTRICAL SERVICE
☑	POINT OF CONNECTION TO EXISTING 3" PVC MAINLINE DOWNSTREAM OF THE EXISTING BOOSTER PUMP AND BACKFLOW PREVENTION ASSEMBLY - VERIFY EXACT LOCATIONS PRIOR TO STARTING ANY WORK.
---	EXISTING MAINLINE - REFER TO NOTES ON SHEET L-11
	NOTE: EXISTING EQUIPMENT IS SHOWN FOR REFERENCE ONLY. VERIFY EXACT LOCATIONS IN THE FIELD PRIOR TO STARTING ANY WORK.

LATERAL LINE SIZING CHART

SPRINKLER TYPE	GALLONS PER MINUTE	PIPE SIZE
SPRAYS & BUBBLERS	1-5 6-10 11-20 21-28 29-55	3/4" 1" 1 1/4" 1 1/2" 2"

**BROOKWATER**  
IRRIGATION CONSULTANTS  
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LANDSCAPE ARCHITECTURE  
AND PLANNING

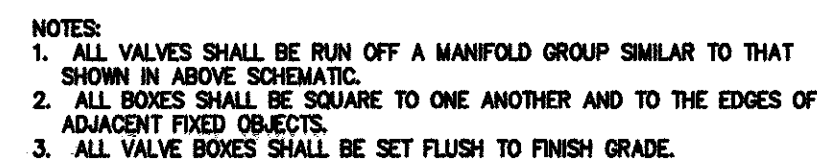
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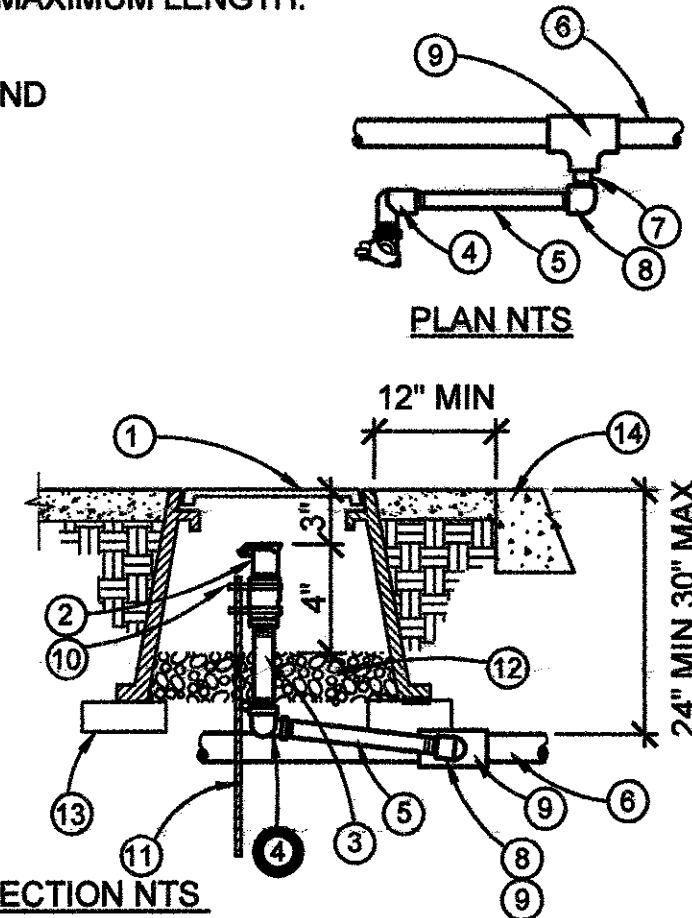
COUNTY OF LOS ANGELES DEPARTMENT OF PUBLIC WORKS			
<b>KENNETH HAHN EASTERN RIDGELINE</b>			
4100 LA CIENEGA BOULEVARD, LOS ANGELES, CA 90056			
<b>IRRIGATION LEGEND AND NOTES</b>			
LS1112200001			L-13
SPEC. NO. 7188	C.P. NO. 69253	P200000655	SHEET 31 OF 46

(14 of 27)

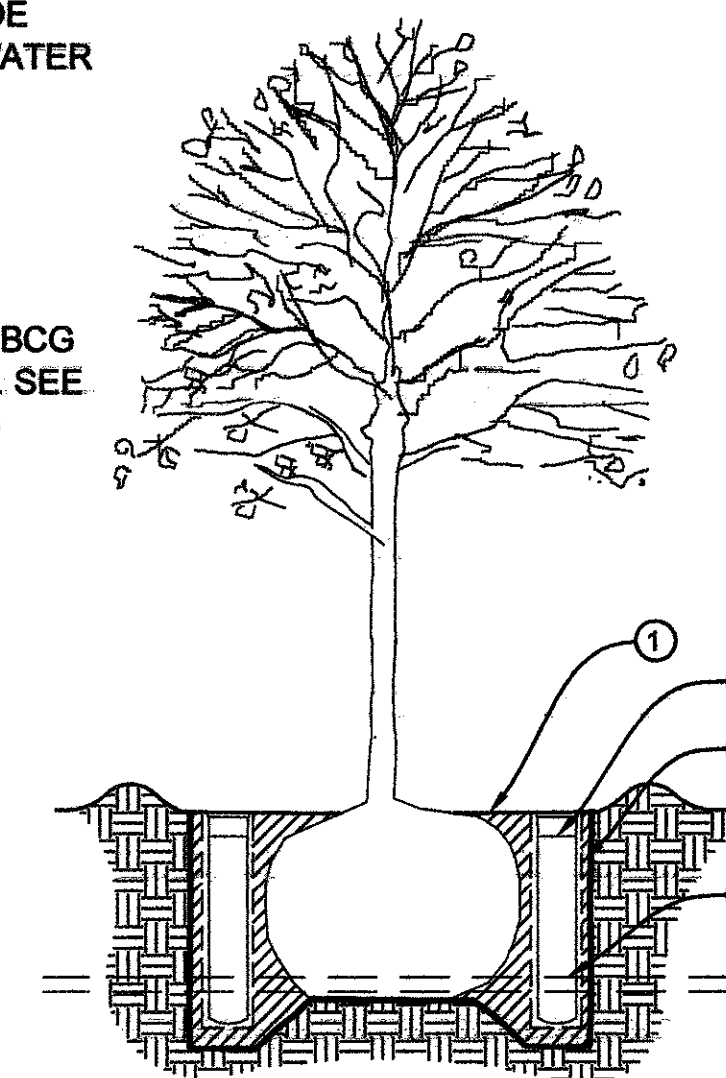




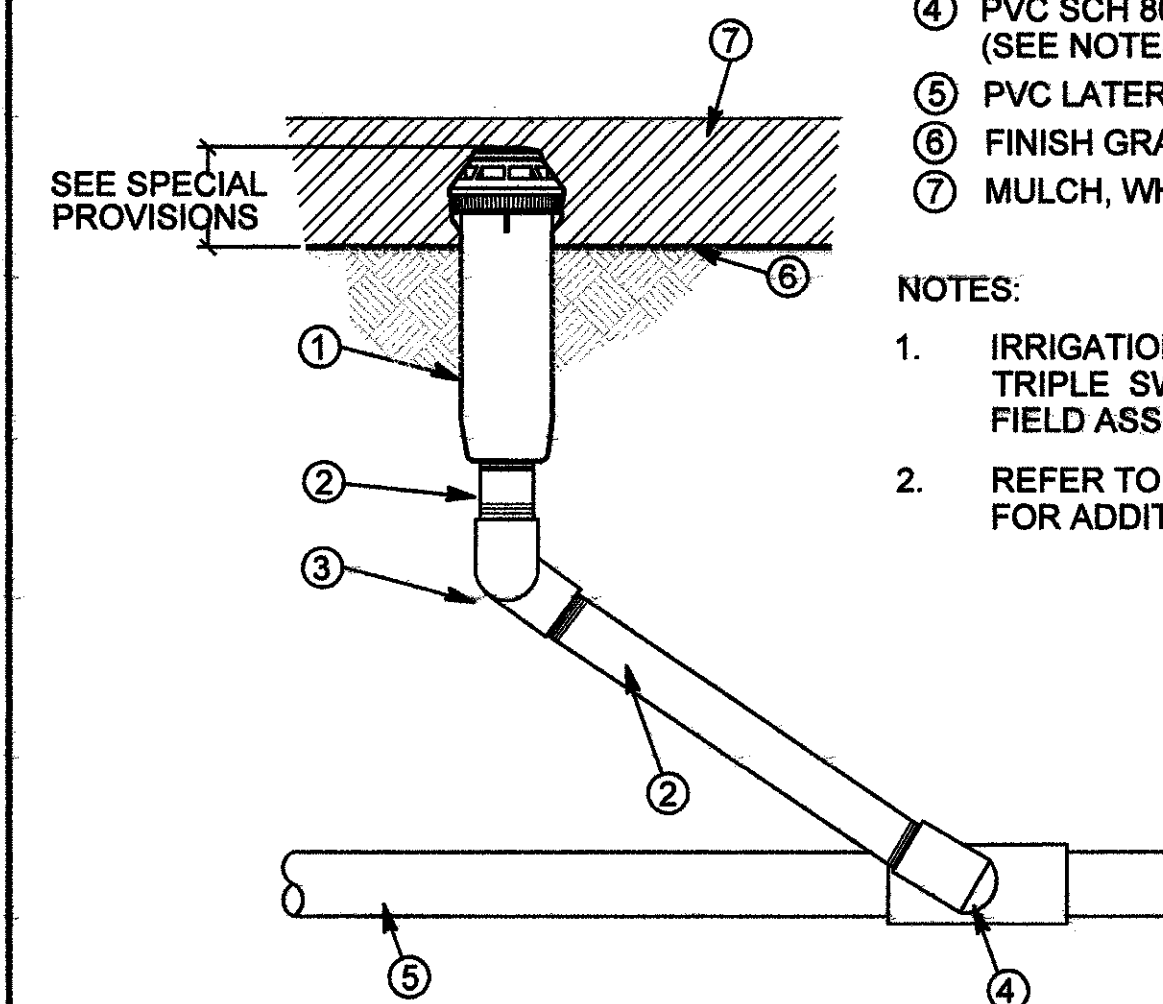
- NOTE:**
1. VALVE BOX TO BE SET SQUARE AND FLUSH NEXT TO CURB OR SIDEWALK.
  2. FOR NON-HARDSCAPE AREAS, SET TOP OF VALVE BOX 2" ABOVE FINISH GRADE.



- LEGEND**
- ① FINISH GRADE
  - ② ROOT WATERING RAINBIRD OR EQUIVALENT FOR 36" BOX OR DETAIL 'B' TREE SHEET
  - ③ LANDSCAPE FERTILIZER FOR SANDY SOILS
  - ④ LATERAL LINE



- NOTES:**
- 1. IRRIGATION HEADS SHALL HAVE TRIPLE SWING JOINT RISER, FIELD ASSEMBLED.**
  - 2. REFER TO SPECIAL PROVISIONS FOR ADDITIONAL INFORMATION**



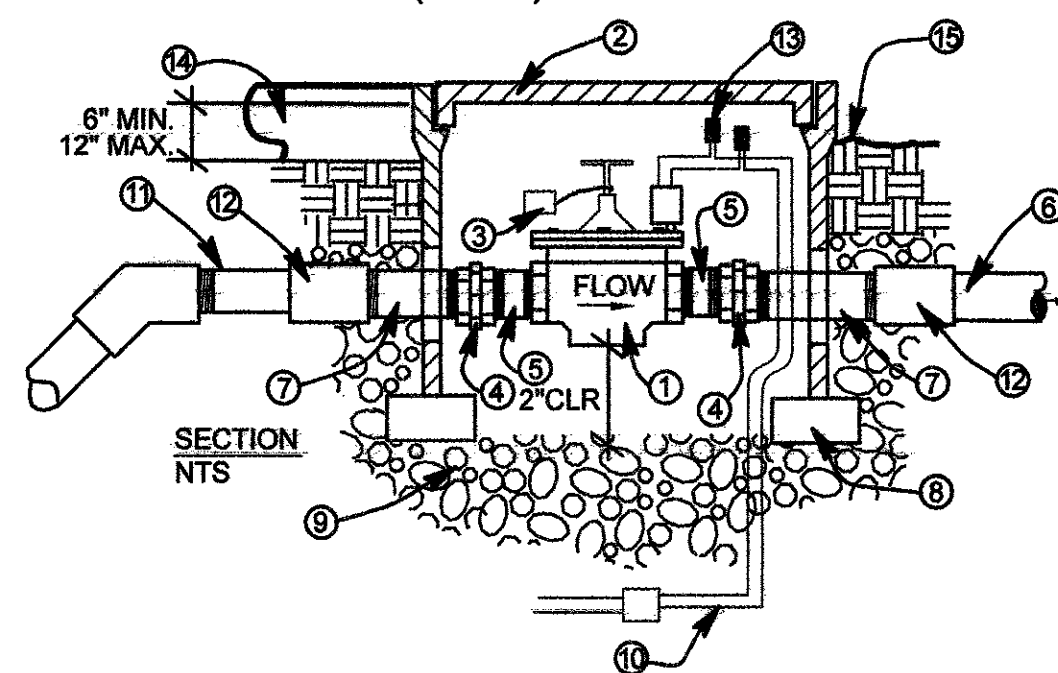
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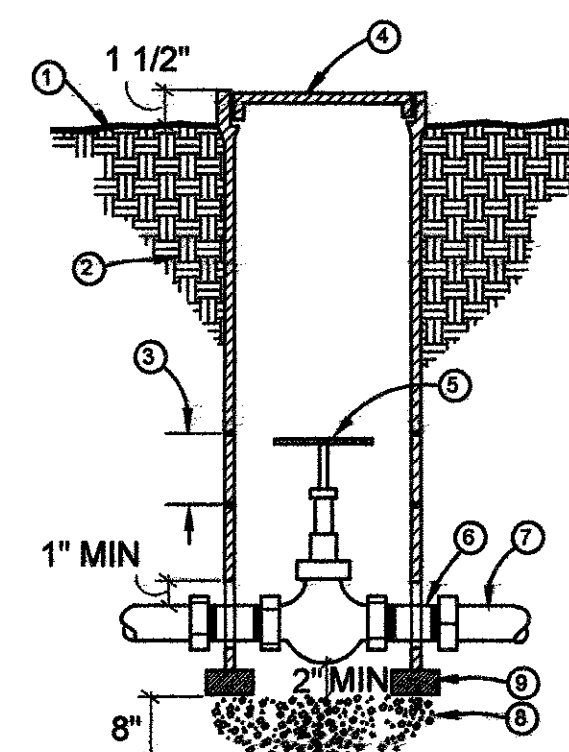
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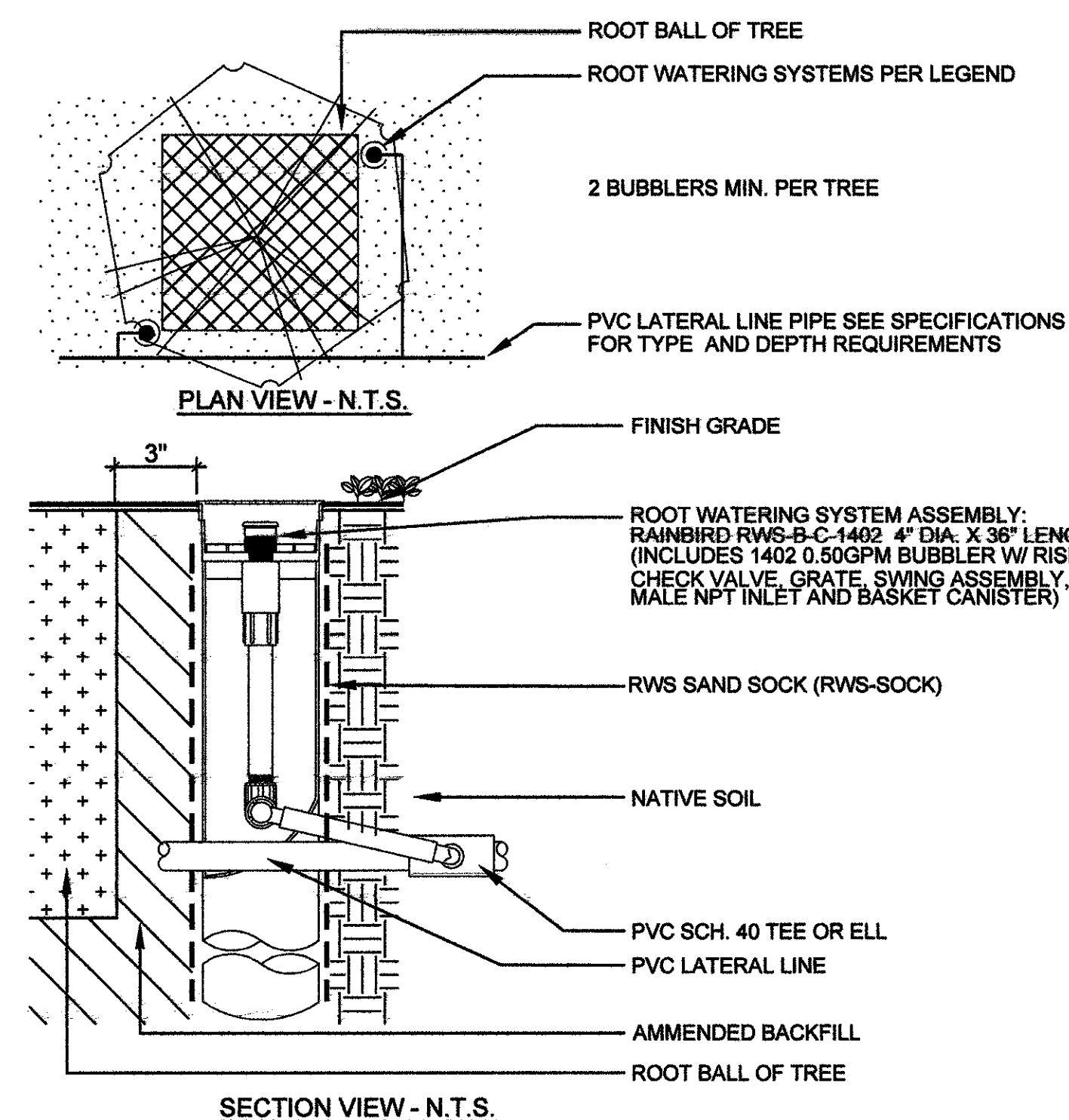
- NOTES:**
1. WHEN VALVE BOXES ARE CLUSTERED, PROVIDE 1' MIN. CLEARANCE BETWEEN BOXES.
  2. PROVIDE VALVE WITH SEPARATE CONNECTION TO MAINLINE. INSTALL NO MULTIPLE ASSEMBLIES.
  3. INSTALL VALVE BOX WITH HINGED COVER "OPENING TOWARD DOWNSTREAM OF VALVE IN ORDER TO PROVIDE ACCESS TO FLOW CONTROL FEATURE OF CONTROL VALVE.
  4. ALL VERTICAL CHANGES IN MAINLINE PIPE DIRECTION SHALL BE DONE WITH THE USE OF 45 DEGREE ELBOWS.
  5. INSTALL GALVANIZED WOVEN MESH (1/4" Sieve Size) BETWEEN RCV BOX AND CRUSHED ROCK. WRAP FABRIC UP SIDE OF BOX (3" MIN.).



- LEGEND:**
- ① FINISH GRADE
  - ② COMPACTED SUBGRADE
  - ③ BREAK-OFF GROVES 3 PLACES - 4" TYP.
  - ④ VALVE BOX-LID TO BE HINGED AND LOCKABLE
  - ⑤ GATE VALVE W/ HANDWHEEL LINE SIZE
  - ⑥ SCH. 80 P.V.C. NIPPLES, TYP.
  - ⑦ PVC MAINLINE
  - ⑧ 3/4" CRUSHED ROCK 8" DEPTH
  - ⑨ COMMON RED BRICK, ONE AT EACH CORNER (4 REQUIRED)




- ROOT BALL OF TREE
- ROOT WATERING SYSTEMS PER LEGEND
- 2 BUBBLERS MIN. PER TREE



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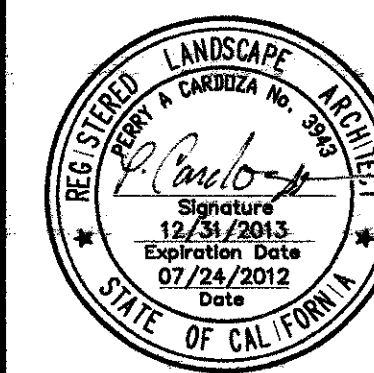
NOTE:  
THE DETAILS INDICATED ON THIS SHEET ARE FOR REFERENCE ONLY. THE  
CONTRACTOR SHALL VERIFY THAT THE INSTALLATION OF THE IRRIGATION SYSTEM  
IS COMPLETED PER THE MOST CURRENT COUNTY OF LOS ANGELES APPROVED  
DETAILS AND STANDARDS.



**BROOKWATER**  
IRRIGATION CONSULTANTS  
FIVE CROW CANYON COURT, SUITE 105  
SAN RAMON, CALIFORNIA 94583  
TEL 925.855.0417 FAX 925.855.0357  
E-MAIL [BROOKWATER@BROOKWATER.COM](mailto:BROOKWATER@BROOKWATER.COM)



**NŪVIS**  
LANDSCAPE ARCHITECTURE  
AND PLANNING

[illegible]

COUNTY OF LOS ANGELES DEPARTMENT OF PUBLIC WORKS <b>KENNETH HAHN EASTERN RIDGELINE</b> 4100 LA CIENEGA BOULEVARD, LOS ANGELES, CA 90056 <b>IRRIGATION DETAILS</b>
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L-14

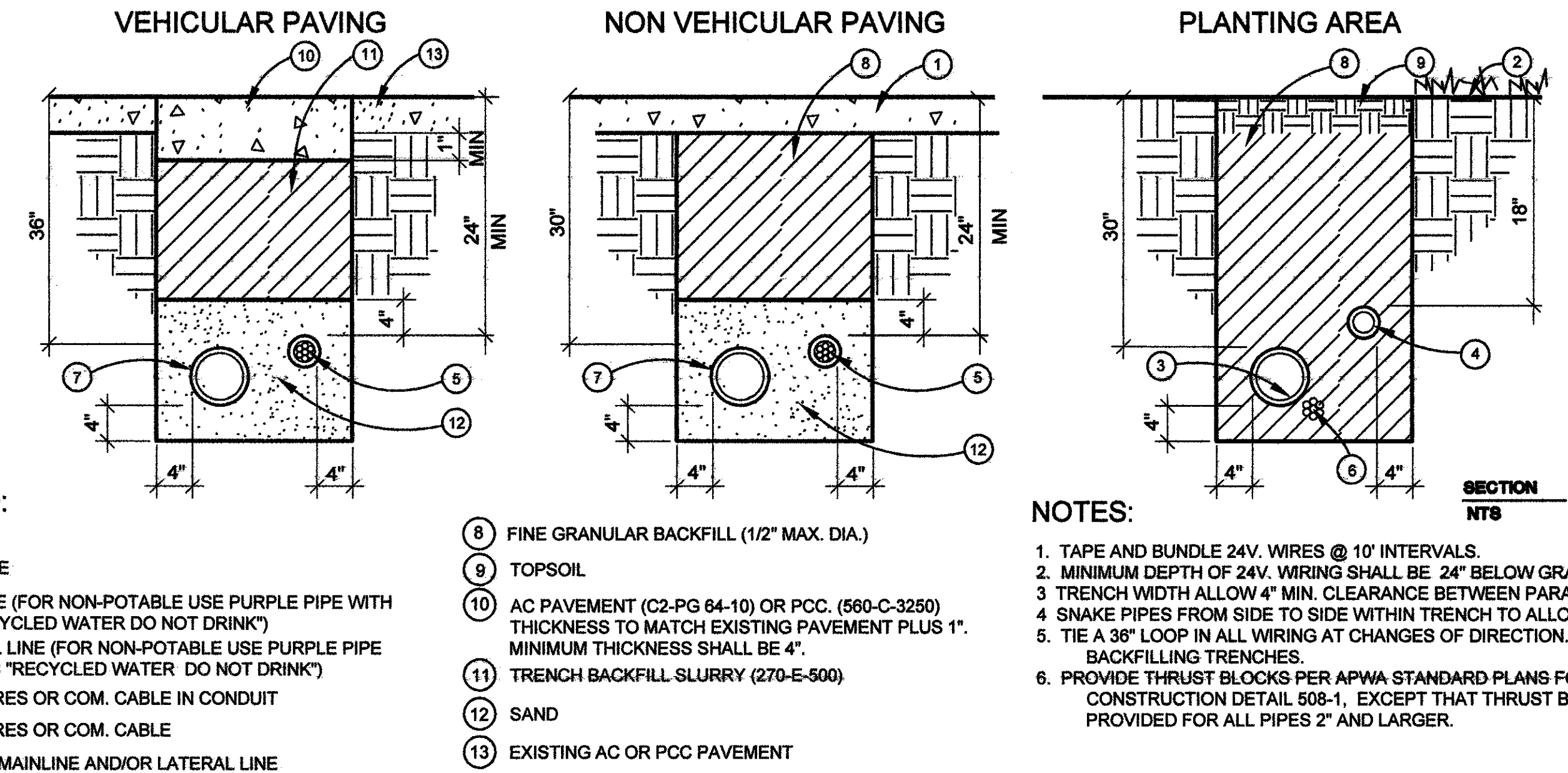
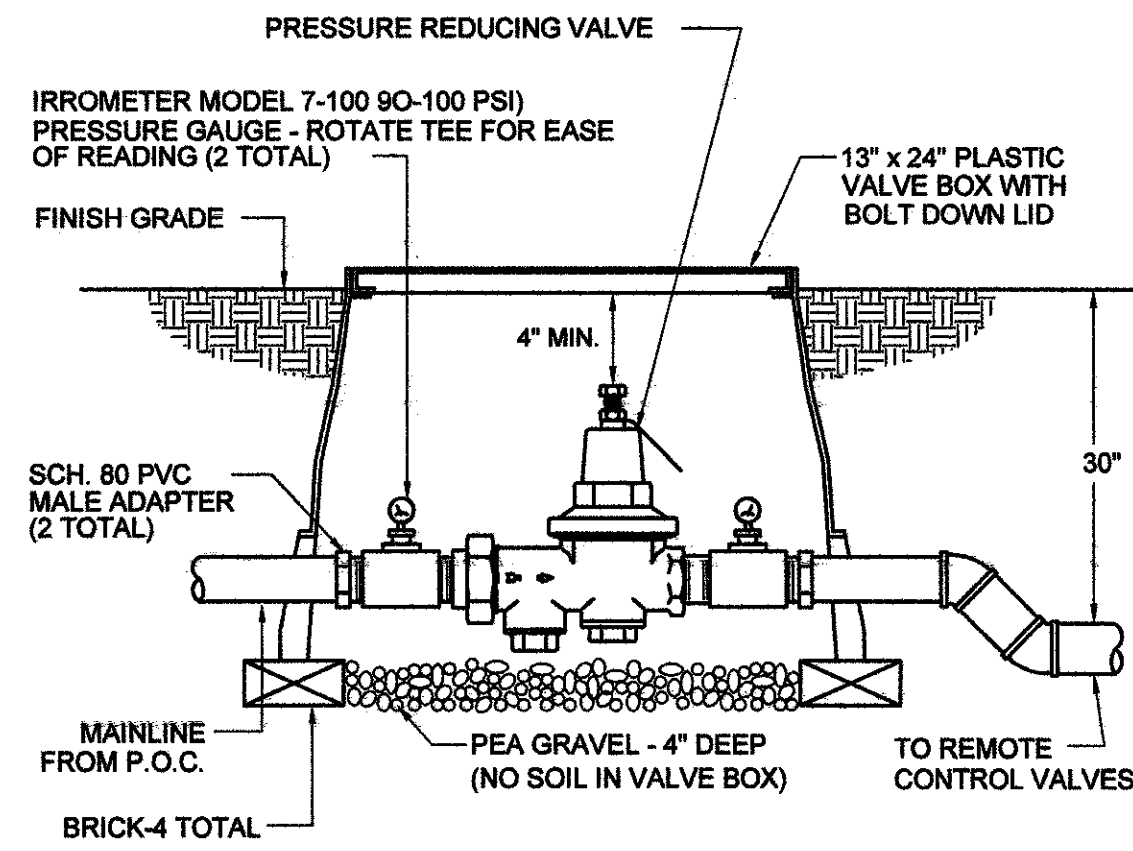
SPEC. NO. 7188 C.P. NO. 69253

P200000655

SHEET 32 OF 46

( 15 of 27 )



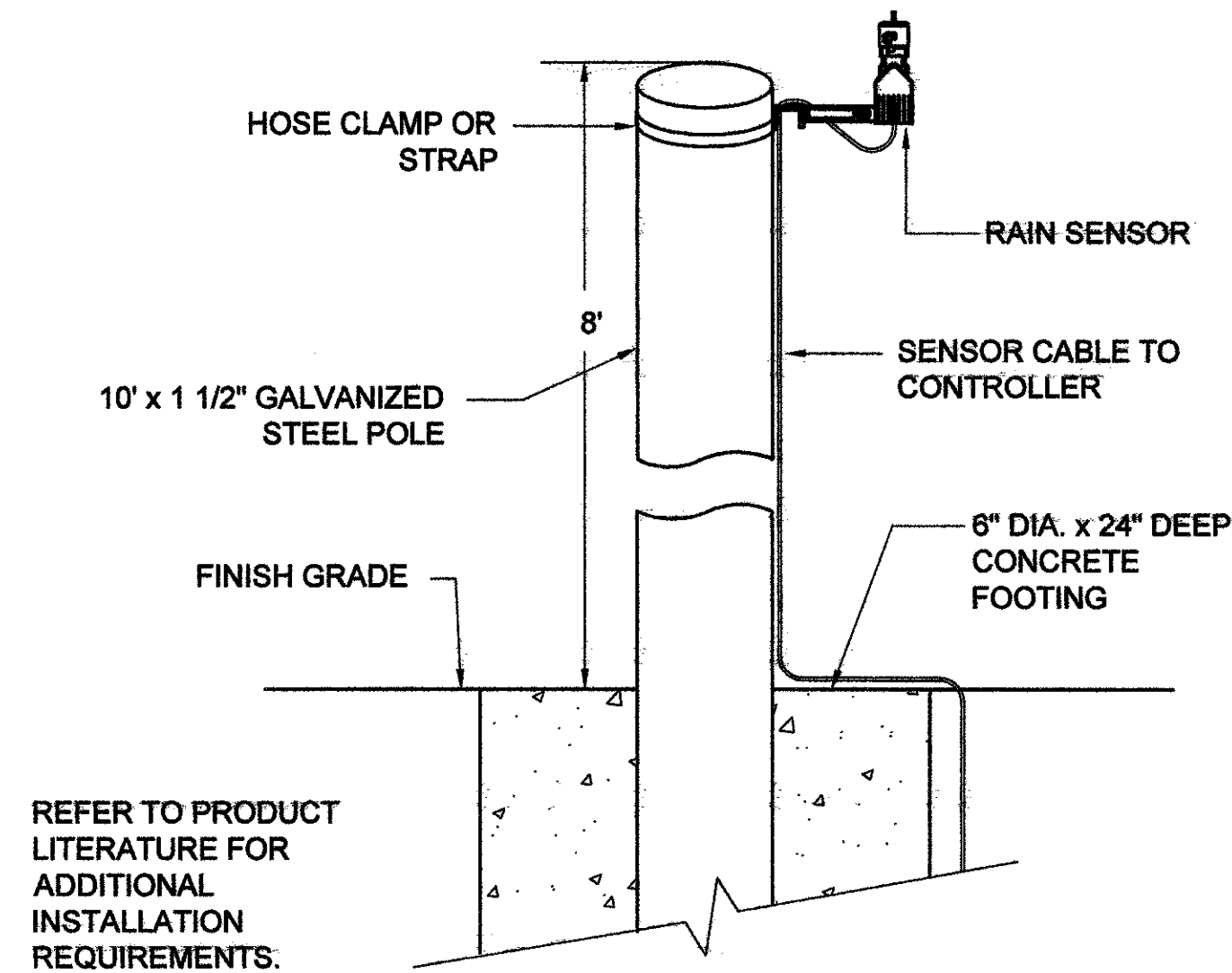


## L PRESSURE REDUCING VALVE

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## H PIPE TRENCHING

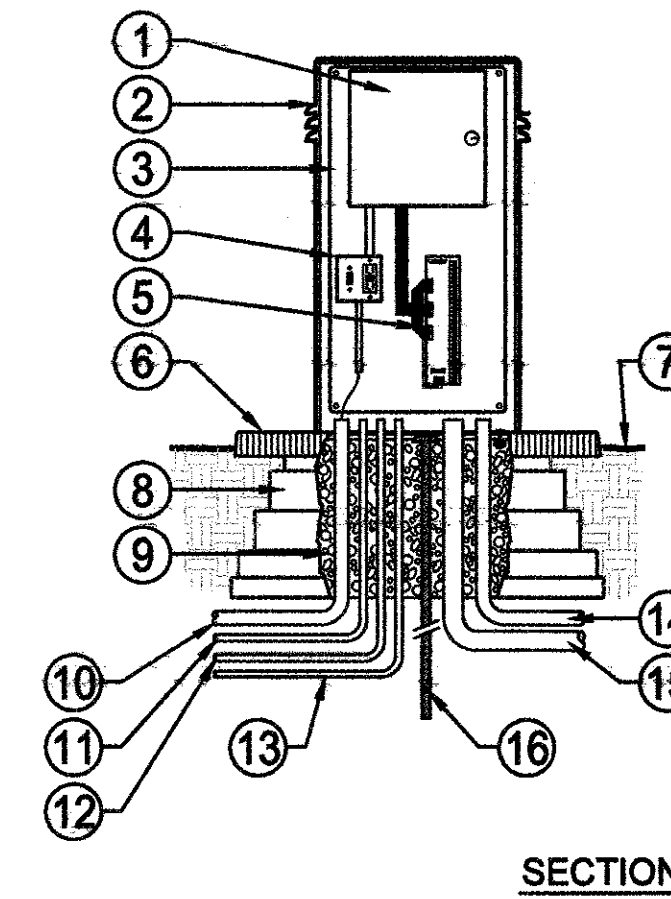
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**NOTES:**

1. PILOT WIRES SHALL BE ONE COLOR FOR EACH CONTROLLER. COMMON WIRES SHALL BE WHITE WITH DIFFERENT COLOR STRIPES FOR EACH AUTOMATIC CONTROLLER.
2. NO SPLICES SHALL BE MADE BETWEEN CONTROLLER AND REMOTE CONTROL VALVE UNDER 500 LINEAL FEET.
3. CONTROL WIRING SEQUENCE CORRESPONDS TO OPERATING SEQUENCE OF REMOTE CONTROL VALVES AND AUTOMATIC SPRINKLER CONTROL UNIT STATION CONNECTION SEQUENCE. SEQUENCE SHOWN ON DETAIL IS FOR REFERENCE ONLY. SEE IRRIGATION PLAN FOR CORRECT VALVE SEQUENCE.

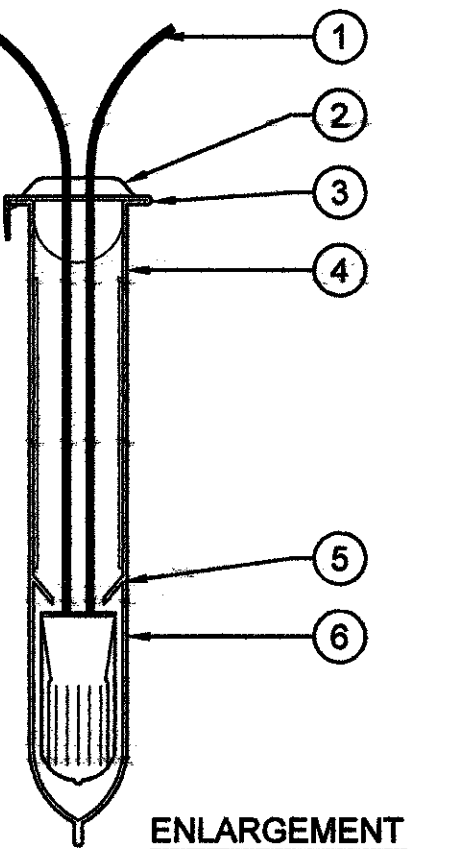
- 1 CONTROLLER
- 2 STAINLESS STEEL, 18" OR 24" WIDE FRONT ENTRY CONTROLLER ENCLOSURE NEMA 3R RAINPROOF RATED
- 3 STAINLESS STEEL, U.L. LISTED, PREDRILLED, REMOVABLE BACKBOARD
- 4 POWER SWITCH AND RECEPTACLE
- 5 TERMINAL STRIP FOR REMOTE CONTROL VALVE WIRE CONNECTIONS
- 6 PREFORMED ALUMINIUM PAD
- 7 FINISH GRADE
- 8 STRONGBOX QUICKPAD ENCLOSURE (MODEL #QP-CAL MOUNTING PAD OR APPROVED EQUAL) WITH PREFORMED ALUMINIUM PAD, PLASTIC BASE AND ALL STAINLESS STEEL HARDWARE, INSTALLED PER MANUFACTURER'S INSTRUCTIONS.
- 9 FILL BASE OF QUICKPAD WITH PEA GRAVEL TO TOP OF BASE UNIT
- 10 1 1/4" PVC CONDUIT FOR ELECTRIC SERVICE
- 11 1" PVC CONDUIT FOR ET GAUGE WIRES (IF REQUIRED)
- 12 1" PVC CONDUIT FOR TELEPHONE CONNECTION (IF REQUIRED)
- 13 1" PVC CONDUIT FOR FLOW SENSOR/MCV WIRES (IF REQUIRED)
- 14 1 1/4" PVC CONDUIT FOR COMMUNICATION CABLE TO OTHER CONTROLLERS (IF REQUIRED)
- 15 3" PVC CONDUIT FOR CONTROL WIRES TO VALVES
- 16 5/8" x 8' COPPER GROUND ROD W#10 GROUND WIRE AND CLAMP



**NOTES:**

1. KIT SHALL INCLUDE A SCOTCHLOK Y SPRING CONNECTOR, A POLYPROPYLENE TUBE AND A WATERPROOF SEALING GEL. TUBE SHALL BE SUPPLIED PREFILLED WITH GEL.
2. DIRECT BURY SPLICE KIT SHALL BE USED TO ELECTRICALLY CONNECT 2-3 #14 OR TWO (2) #12 PRE-STRIPPED COPPER WIRES. LARGER WIRES OR GREATER QUANTITIES OF WIRES SHALL REQUIRE A LARGER APPROVED WIRE CONNECTION.

- 1 LOW VOLTAGE WIRES, THREE (3) MAXIMUM
- 2 WIRES PASS THROUGH GROOVES IN TUBE LID TO ALLOW LID TO CLOSE
- 3 CLOSE TUBE LID AFTER WIRE IS INSERTED INTO TUBE
- 4 POLY TUBE PRE-FILLED WITH WATERPROOF GEL
- 5 LOCK TABS PREVENT WIRE REMOVAL ONCE CONNECTOR IS INSERTED
- 6 SCOTCHLOK ELECTRICAL SPRING CONNECTOR. WIRES SHALL BE PRE-STRIPPED OF 1/2" OF THE INSULATION PRIOR TO INSERTION INTO THE CONNECTOR. TWIST CONNECTOR ONTO WIRES TO SEAT FIRMLY. SCOTCHLOK CONNECTOR AND WIRES INSERTED INTO TUBE UNTIL THE CONNECTOR PASSES LOCK TABS



## K RAIN SENSOR

NOT TO SCALE

## J PEDESTAL MOUNTED CONTROLLER

SCALE: NOT TO SCALE

## I WIRE CONNECTOR

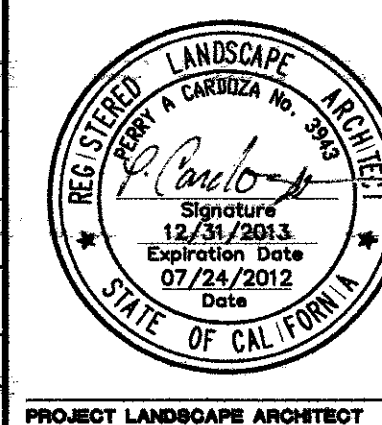
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**NUVIS**  
LANDSCAPE ARCHITECTURE  
AND PLANNING

DATE	MK	DESCRIPTION



COUNTY OF LOS ANGELES DEPARTMENT OF PUBLIC WORKS  
**KENNETH HAHN EASTERN RIDGELINE**  
4100 LA CIENEGA BOULEVARD, LOS ANGELES, CA 90056  
**IRRIGATION DETAILS**  
LS1112200001  
SHEET 33 OF 46  
SPEC. NO. 7188 C.P. NO. 69253 P200000655

(16 or 27)



DATE  
REVIEWED BY  
CADD PROJECT FILE NAME  
CHECKER  
DESIGNER  
DRAFTER

COUNTY OF LOS ANGELES LANDSCAPE WATER USE STATEMENT			
PROJECT NAME:	KENNETH HAHN EASTERN RIDGELINE		
PROJECT ADDRESS:	4100 LA CIENEGA BOULEVARD, LOS ANGELES		
PREPARED BY:	JANET LUEHRS (CID #008435)		
	BROOKWATER, IRRIGATION CONSULTANTS		
	FIVE CROW CANYON COURT, SUITE 209		
	SAN RAMON, CA 94583		
	925-855-0417		
	925-855-0357 (FAX)		
	janet@brookwater.com (e-mail)		
PART ONE	MAXIMUM APPLIED WATER ALLOWANCE		
	MAWA = ETo x .62 x (7 x HA) + (.3 x SLA)		
	YEARLY ETo	50.2	
	CONVERSION FACTOR	0.62	
	ET ADJUSTMENT FACTOR	0.7	
	TOTAL IRRIGATED LANDSCAPE AREA (HA)	140,905 SQUARE FEET	
	SPECIAL LANDSCAPE AREA (SLA)	25,830 SQUARE FEET	
	LANDSCAPE WATER ALLOWANCE	3,311,049 GALLONS PER YEAR	
	TOTAL ACRE FEET	10.16 ACRE FEET	
PART TWO	ESTIMATED TOTAL WATER USE		
	*ETWU = ETo x .62 ((PF x HA) / IE + SLA)		
	AVERAGE IRRIGATION EFFICIENCY	0.82	
	ESTIMATED TOTAL WATER USE FROM HYDROZONE TABLE	2,318,730 GALLONS PER YEAR	
	TOTAL ACRE FEET	7.12 ACRE FEET	
	PERCENT OF ETo	53%	
	PART THREE ESTIMATED APPLIED WATER USE		
	TOTAL GALLONS PER YEAR FROM WATER SCHEDULES (AFTER ESTABLISHMENT)	1,692,249 GALLONS PER YEAR	

THE CONTRACTOR WILL CONDUCT AN IRRIGATION AUDIT USING A CERTIFIED IRRIGATION AUDITOR, AFTER THE FINAL FIELD OBSERVATION HAS BEEN COMPLETED AND ALL IRRIGATION COMPONENTS ARE INSTALLED IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS AND THE IRRIGATION SYSTEM IS ACCEPTED BY THE PROJECT ARCHITECT FOR MAINTENANCE.

THE IRRIGATION AUDIT WILL BE CONDUCTED IN ACCORDANCE WITH THE FOLLOWING SCHEDULE.

- PLACE FLAGS AT EACH HEAD IN THE ZONE
- MEASURE SPACING AND MARK MID POINTS BETWEEN HEADS
- PLACE WATER MEASURING RECEPTACLES
- TAKE READINGS OF WATER LEVEL IN RECEPTACLES AND RECORD RESULTS
- MEASURE HEAD PRESSURE IN EACH ZONE AND RECORD RESULTS
- AFTER COMPLETING ZONE ADVANCE TO NEXT ZONE AND REPEAT PROCEDURE
- SUBMIT THE RESULTS OF THE AUDIT TO THE PROJECT ARCHITECT

AUDIT SHALL BE IN ACCORDANCE WITH THE LATEST STATE OF CALIFORNIA LANDSCAPE WATER MANAGEMENT PROGRAM AS DESCRIBED IN THE LATEST LANDSCAPE IRRIGATION AUDITOR HANDBOOK. THE LANDSCAPE IRRIGATION AUDITS TO BE CONDUCTED BY A QUALIFIED INDIVIDUAL AND THE AUDIT SCHEDULE SHALL BE CONDUCTED AT LEAST ONCE EVERY FIVE YEARS IN ACCORDANCE WITH THE REQUIREMENTS IF TITLE 20, DIVISION 1 OF THE LOS ANGELES COUNTY CODE

I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM ACCORDINGLY FOR THE EFFICIENT USE OF WATER IN THE IRRIGATION DESIGN PLAN.

SIGNED:

Janet Luehrs

JANET LUEHRS, CID #006435

HYDROZONE TABLE									
VALVE NO.	PLANT TYPE	HYDROZONE* (PLANT WATER USE)	PLANT FACTOR (PF)	IRRIGATION METHOD**	IRRIGATION EFFICIENCY (IE)	HYDROZONE AREA (HA) (Sq Ft)	PF x HA	ETWU	% LANDSCAPE AREA
B-1	SHRUB	LW	0.30	S	0.71	1,087	327	14,335	0.8%
B-2	SHRUB	LW	0.30	S	0.71	897	270	11,836	0.6%
B-3	SHRUB	LW	0.30	S	0.71	774	233	10,214	0.5%
B-4	SHRUB	LW	0.30	S	0.71	1,455	437	19,157	1.0%
B-5	SHRUB	LW	0.30	S	0.71	1,864	560	24,549	1.3%
B-6	SHRUB	LW	0.30	S	0.71	1,873	562	24,636	1.3%
B-7	SHRUB	LW	0.30	MR	0.80	3,511	1,054	41,006	2.5%
B-8	SHRUB	LW	0.30	MR	0.80	3,057	918	35,715	2.2%
B-9	SHRUB	LW	0.30	MR	0.80	813	244	9,493	0.6%
B-10	SHRUB	LW	0.30	S	0.71	1,311	394	17,272	0.9%
B-11	SHRUB	LW	0.30	S	0.71	1,698	510	22,357	1.2%
B-12	SHRUB	LW	0.30	MR	0.80	1,547	465	18,091	1.1%
B-13	SHRUB	LW	0.30	MR	0.80	2,120	636	24,744	1.5%
B-14	SHRUB	LW	0.30	MR	0.80	1,160	348	13,539	0.8%
B-15	SHRUB	LW	0.30	S	0.71	924	278	12,187	0.7%
B-16	SHRUB	LW	0.30	S	0.71	1,581	475	20,822	1.1%
B-17	SHRUB	LW	0.30	MR	0.80	1,073	322	12,527	0.8%
B-18	SHRUB	LW	0.30	MR	0.80	1,936	581	22,604	1.4%
C-1	SHRUB	LW	0.30	MR	0.80	5,931	1,780	69,251	4.2%
C-2	TREE	MW	0.50	B	0.85	127	64	2,343	0.1%
C-3	SHRUB	MW	0.50	MR	0.80	2,776	1,388	54,000	2.0%
C-4	TREE	LW	0.30	B	0.85	85	26	952	0.1%
C-5	SHRUB	LW	0.30	MR	0.80	2,776	833	32,408	2.0%
C-6	TREE	MW	0.50	B	0.85	99	50	1,831	0.1%
C-7	SHRUB	LW	0.30	MR	0.80	2,945	884	34,392	2.1%
C-8	SHRUB	LW	0.30	MR	0.80	2,945	884	34,392	2.1%
C-9	SHRUB	MW	0.50	S	0.71	1,537	769	33,710	1.1%
C-10	SHRUB	LW	0.30	MR	0.80	2,092	628	24,432	1.5%
C-11	SHRUB	LW	0.30	MR	0.80	4,096	1,229	47,814	2.9%
C-12	TREE	MW	0.50	B	0.85	141	71	2,600	0.1%
C-13	SHRUB	LW	0.30	MR	0.80	2,792	838	32,602	2.0%
C-14	SHRUB	MW	0.50	MR	0.80	2,857	1,429	55,595	2.0%
C-15	TREE	LW	0.30	B	0.85	71	22	806	0.1%
C-16	SHRUB	LW	0.30	MR	0.80	2,757	828	32,213	2.0%
C-17	SHRUB	LW	0.30	MR	0.80	2,757	828	32,213	2.0%
C-18	TREE	MW	0.50	B	0.85	141	71	2,600	0.1%
C-19	SHRUB	LW	0.30	MR	0.80	2,385	716	27,856	1.7%
C-20	SHRUB	MW	0.50	MR	0.80	2,583	1,292	50,265	1.8%
C-21	SHRUB	MW	0.50	MR	0.80	4,478	2,239	87,108	3.2%
C-22	SHRUB	LW	0.30	MR	0.80	1,888	567	22,059	1.3%
C-23	TREE	MW	0.50	B	0.85	71	36	1,318	0.1%
C-24	TREE	MW	0.50	B	0.85	42	21	769	0.0%
C-25	SHRUB	LW	0.30	MR	0.80	2,742	823	32,019	1.9%
C-26	SHRUB	LW	0.30	MR	0.80	4,071	1,222	47,542	2.9%
C-27	SHRUB	MW	0.50	S	0.71	1,023	512	22,444	0.7%
C-28	TREE	MW	0.50	B	0.85	184	92	3,369	0.1%
C-29	SHRUB	LW	0.30	MR	0.80	2,495	749	29,140	1.8%
C-30	SHRUB	LW	0.30	MR	0.80	1,852	556	21,631	1.3%
C-31	SHRUB	LW	0.30	MR	0.80	1,852	556	21,631	1.3%
C-32	SHRUB	LW	0.30	MR	0.80	2,156	647	25,172	1.5%
C-33	SHRUB	LW	0.30	MR	0.80	3,063	919	35,754	2.2%
C-34	SHRUB	LW	0.30	MR	0.80	2,982	895	34,820	2.1%
C-35	SHRUB	MW	0.50	MR	0.80	2,585	1,293	50,304	1.8%
C-36	SHRUB	LW	0.30	MR	0.80	3,422	1,027	39,955	2.4%
C-37	SHRUB	LW	0.30	MR	0.80	4,191	1,258	48,942	3.0%
C-38	TREE	MW	0.50	B	0.85	198	99	3,625	0.1%
C-39	SHRUB	LW	0.30	MR	0.80	2,220	666	25,911	1.6%
C-40	TREE	LW	0.30	B	0.85	99	30	1,098	0.1%
C-41	SHRUB	LW	0.30	S	0.71	1,314	395	17,315	0.9%
C-42	SHRUB	LW	0.30	S	0.71	658	198	8,680	0.5%
C-43	SHRUB	LW	0.30	MR	0.80	915	275	10,699	0.6%
X-27	SHRUB	SLA	1.00	MR	1.00	11,801	11,801	367,294	8.4%
X-28	SHRUB	SLA	1.00	MR	1.00	4,963	4,963	154,468	3.5%
X-29	SHRUB	SLA	1.00	MR	1.00	4,895	4,895	152,352	3.5%
X-30	SHRUB	SLA	1.00	MR	1.00	3,751	3,751	116,746	2.7%
X-31	SHRUB	SLA	0.50	S	0.71	420	210	9,206	0.3%
TOTALS					0.82 Average IE	140,905	63,939	2,318,730	100.0%

THE IRRIGATION MAINTENANCE SCHEDULE TASK LISTED BELOW ARE INTENDED AS MINIMUM STANDARDS AND MORE FREQUENT ATTENTION MAY BE REQUIRED DEPENDING ON THE PARTICULAR SITE CONDITIONS

#### MAINTENANCE TASK

CONTROLLER CABINET - OPEN CABINET AND CLEAN OUT DEBRIS AND REPLACE BATTERY AS NECESSARY. CHECK WIRING AND REPAIR AS NEEDED AND CHECK CLOCK AND RESET IF NECESSARY

IRRIGATION SCHEDULE - ADJUST SCHEDULE FOR SEASONAL VARIATION AND OTHER CONDITIONS WHICH MAY AFFECT THE AMOUNT OF WATER NEEDED TO MAINTAIN PLANT HEALTH ADJUST AS NECESSARY.

POC - VISUALLY INSPECT COMPONENTS FOR LEAKS, PRESSURE SETTING, SETTLEMENT OR OTHER DAMAGE AFFECTING THE OPERATION OF A COMPONENT REPAIR AS NEEDED

REMOTE CONTROL VALVES, ISOLATION VALVES AND QUICK COUPLER VALVES VISUALLY INSPECT FOR LEAKS, SETTLEMENT, WIRE CONNECTIONS AND PRESSURE SETTING. REPAIR OR ADJUST AS NEEDED

MAINLINE & LATERALS VISUALLY INSPECT FOR LEAKS OR SETTLEMENT OF TRENCH

SPRINKLERS VISUALLY CHECK FOR ANY BROKEN MISSIGNED OR CLOGGED HEADS. HEADS WITH INCORRECT ARC, INADEQUATE COVERAGE OR OVERSPRAY AND LOW HEAD DRAINAGE REPAIR AS NEEDED.

FILTERS AND STRAINER VISUALLY CHECK FOR LEAKS, BROKEN FITTING CLEAN AND FLUSH SCREENS

#### HYDROZONE TABLE SUMMARY

*Hydrozone Description	Total Sq. Ft.	% of Landscape
Cool Season Turf (CST)	0	0.0%
Warm Season Turf (WST)	0	0.0%
High Water Use Plants (HW)	0	0.0%
Medium Water Use Plants (MW)	18,842	13.4%
Low Water Use Plants (LW)	96,233	68.3%
Very Low Water Use Plants (VLW)	0	
Special Landscape Area (SLA)	25,830	18.3%
TOTAL	140,905	100.0%

**Irrigation Method	Total Sq. Ft.	% of Landscape
Rotor (R)	0	0.0%
Multi-Stream Rotator (MR)	121,231	86.0%
Spray (S)	18,416	13.1%
Bubbler (B)	1,258	0.9%
Drip (D)	0	0.0%
In-Line Drip (DL)	0	0.0%
Micro Spray (MS)	0	0.0%
Other (O)	0	0.0%

#### PRESSURE LOSS CALCULATIONS FOR KENNETH HAHN EASTERN RIDGELINE

POC SIZE:	3"	R.C.V. #:	B-18	HIGHEST HEAD ELEV.:	429'
PUMP ELEVATION:	486.5	R.C.V. DEMAND (GPM):	24	TOTAL SYSTEM DEMAND:	80 GPM
STATIC WATER PRESSURE:	110 PSI	R.C.V. SIZE:	1 1/2"		

DESCRIPTION	SIZE	DISTANCE IN FEET	LOSS / 100'	FPS	PRESSURE LOSSES	
MASTER VALVE (EXISTING)					2.5	PSI
FLOW SENSOR (EXISTING)					1	PSI
MAIN LINE (EXISTING)	4"	1400	0.22	1.99	3.08	PSI
MAIN LINE (EXISTING)	3"	106	0.74	3.3	0.7844	PSI
MAIN LINE - CLASS 315 PVC	3"	2344	0.74	3.76	17.3456	PSI
LATERAL LINE	(ESTIMATED)					PSI
LATERAL LINE - SCH. 40 PVC	3/4"	50	2.42	3.16	1.21	PSI
LATERAL LINE - SCH. 40 PVC	1"	22	2.63	3.85	0.5786	PSI
LATERAL LINE - SCH. 40 PVC	1 1/4"	10	2.45	4.41	0.245	PSI
LATERAL LINE - SCH. 40 PVC	1 1/2"	22	1.6	3.87	0.352	PSI
REMOTE CONTROL VALVE	1 1/2"				2.5	PSI
SUB-TOTAL					29.5956	PSI
10% FOR FITTINGS, ETC.					2.95956	PSI
TOTAL					32.55516	PSI
LOSSES DUE TO ELEVATION RISE		0	x	0.433	0	PSI
GAINS DUE TO ELEVATION DROP		57.5	x	0.433	24.8975	PSI
TOTAL NET LOSSES					7.65766	PSI
PRESSURE REQUIRED AT HEAD					30	PSI
MINUS PRESSURE LOSSES FROM PUMP TO POC					7.3644	PSI
TOTAL PRESSURE REQUIRED AT POC (SET PRV TO 50 PSI)					30.29326	PSI

PRESSURE CALCULATIONS ARE CALCULATED FROM DOWNSTREAM OF THE EXISTING BOOSTER PUMP. THE PRESSURE STATED IS REQUIRED AT THE POINT OF CONNECTION SHOWN ON SHEET L-11.

**BROOKWATER**  
IRRIGATION CONSULTANTS  
FIVE CROW CANYON COURT, SUITE 105  
SAN RAMON, CALIFORNIA 94583  
TEL 925-855-0417 FAX 925-855-0357  
E-MAIL: BROOKWATER@BROOKWATER.COM

**NUVIS**  
LANDSCAPE ARCHITECTURE  
AND PLANNING



COUNTY OF LOS ANGELES DEPARTMENT OF PUBLIC WORKS			
KENNETH HAHN EASTERN RIDGELINE 4100 LA CIENEGA BOULEVARD, LOS ANGELES, CA 90056			
IRRIGATION WATER CALCULATIONS			
LS1112200001			L-16
SPEC. NO. 7188	C.P. NO. 69253	P200000655	SHEET 34 OF 46







DATE

REVIEWED BY

CADD PROJECT FILE NAME

CHECKER

DESIGNER

DRAFTER

SAMPLE SCHEDULES

AFTER ESTABLISHMENT  
80% OF ETo

JAN

FEB

MARCH

APRIL

MAY

JUNE

JULY

AUGUST

SEPT

OCT

NOV

DEC

TOTAL ANNUAL  
WATER USE  
ESTABLISHED

VALVE OR STATION NUMBER		JAN	FEB	MARCH	APRIL	MAY	JUNE	JULY	AUGUST	SEPT	OCT	NOV	DEC	TOTAL ANNUAL WATER USE ESTABLISHED
ETo PER MONTH (INCHES)														
B-1	RUN TIME PER MONTH (min.)	42	52	71	90	105	111	119	113	96	75	50	39	
	IRRIG. DAYS PER MONTH	1	1	2	2	2	2	2	2	1	1	1	1	
	RUN TIME PER DAY (min.)	42	52	71	45	53	56	60	57	48	75	50	39	
	CYCLES PER DAY	4	5	7	4	5	5	6	5	7	5	4	4	
	APPLIED WATER (gallons)	504	624	852	1050	1272	1344	1440	1368	1152	900	600	468	11604
B-2	RUN TIME PER MONTH (min.)	42	52	70	89	104	110	118	112	95	74	50	38	
	IRRIG. DAYS PER MONTH	1	1	2	2	2	2	2	2	1	1	1	1	
	RUN TIME PER DAY (min.)	42	52	70	45	52	55	59	56	48	74	50	38	
	CYCLES PER DAY	4	5	7	5	5	5	6	5	7	5	4	4	
	APPLIED WATER (gallons)	420	520	700	900	1040	1100	1180	1120	960	740	500	380	9560
B-3	RUN TIME PER MONTH (min.)	33	41	55	70	82	86	92	88	75	58	39	30	
	IRRIG. DAYS PER MONTH	1	1	1	2	2	2	2	2	2	1	1	1	
	RUN TIME PER DAY (min.)	33	41	55	35	41	43	46	44	38	58	39	30	
	CYCLES PER DAY	4	5	7	4	5	5	6	5	7	5	4	4	
	APPLIED WATER (gallons)	363	451	605	770	902	946	1012	968	836	628	429	330	8250
B-4	RUN TIME PER MONTH (min.)	43	52	71	91	106	112	119	113	96	75	50	39	
	IRRIG. DAYS PER MONTH	1	1	1	2	2	2	2	2	2	1	1	1	
	RUN TIME PER DAY (min.)	43	52	71	46	53	56	60	57	48	75	50	39	
	CYCLES PER DAY	4	5	7	4	5	5	6	5	7	5	4	4	
	APPLIED WATER (gallons)	688	832	1136	1472	1696	1792	1920	1824	1536	1200	800	624	15520
B-5	RUN TIME PER MONTH (min.)	42	51	70	88	103	109	116	111	94	73	49	38	
	IRRIG. DAYS PER MONTH	1	1	1	2	2	2	2	2	2	1	1	1	
	RUN TIME PER DAY (min.)	42	51	70	44	52	55	58	56	47	73	49	38	
	CYCLES PER DAY	4	5	7	4	5	5	6	5	7	5	4	4	
	APPLIED WATER (gallons)	882	1071	1470	1848	2184	2310	2436	2352	1974	1533	1029	798	19887
B-6	RUN TIME PER MONTH (min.)	42	51	70	89	104	109	117	111	94	74	49	38	
	IRRIG. DAYS PER MONTH	1	1	1	2	2	2	2	2	2	1	1	1	
	RUN TIME PER DAY (min.)	42	51	70	44	52	55	58	56	47	73	49	38	
	CYCLES PER DAY	4	5	7	5	5	5	6	5	7	5	4	4	
	APPLIED WATER (gallons)	882	1071	1470	1890	2184	2310	2478	2352	1974	1554	1029	798	19992
B-7	RUN TIME PER MONTH (min.)	50	62	84	107	125	132	141	134	114	89	59	46	
	IRRIG. DAYS PER MONTH	1	1	1	2	2	2	2	2	2	1	1	1	
	RUN TIME PER DAY (min.)	50	62	84	54	62	65	68	71	67	89	59	46	
	CYCLES PER DAY	4	5	6	4	5	5	5	5	4	6	4	4	
	APPLIED WATER (gallons)	1450	1798	2436	3132	3654	3828	4118	3886	3306	2591	1711	1334	33234
B-8	RUN TIME PER MONTH (min.)	45	56	76	96	113	119	127	121	103	80	54	41	
	IRRIG. DAYS PER MONTH	1	1	1	2	2	2	2	2	2	1	1	1	
	RUN TIME PER DAY (min.)	45	56	76	48	57	61	62	60	54	80	54	41	
	CYCLES PER DAY	4	5	6	4	5	5	5	5	4	6	4	4	
	APPLIED WATER (gallons)	1260	1568	2128	2698	3192	3360	3584	3416	2912	2240	1512	1148	29008
B-9	RUN TIME PER MONTH (min.)	48	59	81	103	120	126	135	129	109	85	57	44	
	IRRIG. DAYS PER MONTH	1	1	1	2	2	2	2	2	2	1	1	1	
	RUN TIME PER DAY (min.)	48	59	81	52	60	63	68	65	55	85	57	44	
	CYCLES PER DAY	4	5	6	4	5	5	5	5	4	6	4	4	
	APPLIED WATER (gallons)	336	413	567	728	840	882	952	910	770	595	399	308	7700
B-10	RUN TIME PER MONTH (min.)	41	50	69	87	102	107	115	109	93	72	48	37	
	IRRIG. DAYS PER MONTH	1	1	1	2	2	2	2	2	2	1	1	1	
	RUN TIME PER DAY (min.)	41	50	69	44	51	54	58	55	47	72	48	37	
	CYCLES PER DAY	4	5	7	5	5	5	6	5	7	5	4	4	
	APPLIED WATER (gallons)	615	730	1035	1330	1530	1620	1740	1650	1410	1080	720	555	14825
B-11	RUN TIME PER MONTH (min.)	44	54	74	94	110	116	124	118	100	78	52	40	
	IRRIG. DAYS PER MONTH	1	1	1	2	2	2	2	2	2	1	1	1	
	RUN TIME PER DAY (min.)	44	54	74	47	55	58	62	59	50	78	52	40	
	CYCLES PER DAY	4	5	6	4	5	5	6	5	4	6	4	4	
	APPLIED WATER (gallons)	782	972	1332	1692	1980	2088	2232	2124	1800	1404	936	720	18872
B-12	RUN TIME PER MONTH (min.)	49	61	83	105	123	130	138	132	112	87	58	45	
	IRRIG. DAYS PER MONTH	1	1	1	2	2	2	2	2	2	1	1	1	
	RUN TIME PER DAY (min.)	49	61	83	53	62	65	69	66	56	87	58	45	
	CYCLES PER DAY	4	5	6	4	5	5	6	5	4	6	4	4	
	APPLIED WATER (gallons)	637	793	1079	1378	1612	1690	1794	1716	1456	1131	754	585	14625
B-13	RUN TIME PER MONTH (min.)	63	77	105	134	156	165	176	167	142	111	74	57	
	IRRIG. DAYS PER MONTH	1	1	1	2	2	2	2	2	2	1	1	1	
	RUN TIME PER DAY (min.)	63	77	105	67	78	83	88	84	71	111	74	57	
	CYCLES PER DAY	4	5	6	4	5	5	6	5	4	6	4	4	
	APPLIED WATER (gallons)	882	1078	1470	1876	2184	2364	2464	2392	1988	1504	1036	798	20006
B-14	RUN TIME PER MONTH (min.)	44	54	73	93	109	115	123	117	99	77	52	40	
	IRRIG. DAYS PER MONTH	1	1	1	2	2	2	2	2	2	1	1	1	
	RUN TIME PER DAY (min.)	44	54	73	47	55	58	62	59	50	77	52	40	
	CYCLES PER DAY	4	5	6	4	5	5	6	5	4	6	4	4	
	APPLIED WATER (gallons)	484	594	803	1034	1210	1276	1364	1298	1100	847	572	440	11022
B-15	RUN TIME PER MONTH (min.)	48	59	81	102	119	126	135	128	109	85	57	44	
	IRRIG. DAYS PER MONTH	1	1	1	2	2	2	2	2	2	1	1	1	
	RUN TIME PER DAY (min.)	48	59	81	51	60	63	68	64	55	85	57	44	
	CYCLES PER DAY	4	5	6	4	5	5	6	5	4	6	4	4	
	APPLIED WATER (gallons)	432	531	729	918	1080	1134	1224	1152	990	765	513	396	9864
B-16	RUN TIME PER MONTH (min.)	31	38	52	66	77	81	87	82	70	55	37	28	
	IRRIG. DAYS PER MONTH	1	1	1	2	2	2	2	2	2	1	1	1	
	RUN TIME PER DAY (min.)	31	38	52	33	39	41	44	41	35	55	37	28	
	CYCLES PER DAY	4	5	7	5	5	5	6	5	7	5	4	4	
	APPLIED WATER (gallons)	744	912	1248	1584	1872	1968	2112	1968	1680	1320	888	672	16968
B-17	RUN TIME PER MONTH (min.)	41	50	68	86	101	106	114	108	92	72	48	37	
	IRRIG. DAYS PER MONTH	1	1	1	2	2	2	2	2	2	1	1	1	
	RUN TIME PER DAY (min.)	41	50	68	43	51	53	57	54	46	72	48	37	
	CYCLES PER DAY	4	5	6	4	5	5	6	5	4	6	4	4	
	APPLIED WATER (gallons)	451	550	748	945	1122	1166	1254	1188	1012	792	528	407	10164
B-18	RUN TIME PER MONTH (min.)	62	76	103	131	154	162	173	165	140	108	73	56	
	IRRIG. DAYS PER MONTH	1	1	1	2	2	2	2	2	2	1	1	1	
	RUN TIME PER DAY (min.)	62	76	103	66	77	81	87	83	70	109	73	56	
	CYCLES PER DAY	4	5	6	4	5	5	6	5	4	6	4	4	
	APPLIED WATER (gallons)	806	988	1339	1716	2002	2106	2252	2158	1820	1417	949	728	18291
C-1	RUN TIME PER MONTH (min.)	70	86	118	149	175	184	197	187	159	134	83	64	
	IRRIG. DAYS PER MONTH	1	1	1	2	2	2	2	2	2	1	1	1	
	RUN TIME PER DAY (min.)	70	86	118	75	88	92	99	94	80	124	83	64	
	CYCLES PER DAY	4	5	6	4	5	5	6	5	4	6	4	4	
	APPLIED WATER (gallons)	2450	3010	4130	5230	6160	6440	6930	6580	5600	4340	2905	2240	58035
C-2	RUN TIME PER MONTH (min.)	10	12	16	20	23	24	26	25	21	17	11	9	
	IRRIG. DAYS PER MONTH	1	1	1	2	2	2	2	2	2	1	1	1	
	RUN TIME PER DAY (min.)	10	12	16	10	8	8	9	8	11	9	11	9	
	CYCLES PER DAY	6	7	5	6	5	5	6	5	7	6	7	6	
	APPLIED WATER (gallons)	90	108	144	180	216	216	243	216	198	162	99	81	1953
C-3	RUN TIME PER MONTH (min.)	106	130	178	225	265	279	298	284	241	188	125	97	
	IRRIG. DAYS PER MONTH	1	2	2	3	3	4	4	4	3	2	2	1	
	RUN TIME PER DAY (min.)	106	65	89	75	88	70	75	71	80	94	63	97	
	CYCLES PER DAY	6	4	5	3	4	5	4	4	5	4	3	4	
	APPLIED WATER (gallons)	1908	2340	3204	4020	4732	5040	5400	5112	4200	3384	2268	1746	43524
C-4	RUN TIME PER MONTH (min.)	6	7	10	12	14	15	16	15	13	10	7	5	
	IRRIG. DAYS PER MONTH	1	1	1	2	2	2	2	2	2	1	1	1	
	RUN TIME PER DAY (min.)	6	7	10	12	7	8	8	8	13	10	7	5	
	CYCLES PER DAY	4	5	6	7	4	5	4	4	5	4	3	2	
	APPLIED WATER (gallons)	36	42	60	72	84	96	96	96	78	60	42	30	792
C-5	RUN TIME PER MONTH (min.)	64	78	107	136	159	168	179	171					



# PLANT LIST

SYB.	BOTANICAL NAME	COMMON NAME
<b>TREES</b>		
T-1	Cercis occidentalis	Western Redbud
T-2	Fraxinus velutina v. coriacea	Velvet Ash
T-3	Juglans californica	California Black Walnut
T-4	Platanus racemosa	Western Sycamore
T-5	Quercus agrifolia	Coast Live Oak
<b>SHRUBS &amp; GROUND COVER</b>		
S-1	Achillea millefolium	Yarrow
* S-2	Artemisia californica	California Sagebrush
	Encelia californica	California Encelia
S-3	Baccharis pilularis var. pilularis	Coyote Brush
* S-4	Epilobium canum latifolium	Foothill California Fuchsia
	Lotus scoparius	Deerweed
* S-5	Eriogonum fasciculatum	California Buckwheat
	Salvia mellifera	Black Sage
* S-6	Mimulus (Diplacus) aurantiacus	Bush Monkey Flower
	Penstemon centranthifolius	Scarlet Bugler
S-7	Rhamnus crocea	Redberry
S-8	Artemisia californica	California Sagebrush
S-9	Salvia leucophylla	Purple Sage
S-10	Encelia californica	California Encelia
S-11	Epilobium canum latifolium	Foothill California Fuchsia
<b>GRASSES</b>		
G-1	Leymus condensatus	Giant Wild Rye
G-2	Muhlenbergia rigens	Deer Grass
<b>NO-MOW GRASS</b>		
TA-1	Festuca 'Fortitude'	No-Mow Fescue

NOTES:  
1. SEE SHEETS L-23 & L-24 FOR MORE INFORMATION.  
2. SEE SHEET L-23 FOR HYDROSEED & TURF REPAIR MIX INFO.

\* DENOTES EQUAL MIX OF TWO NOTED SPECIES PER HATCH AREA.

SQUARE FOOTAGE → XX SF  
ON CENTER SPACING → X O.C.  
QUANTITY  
TREE / SHRUB TYPE  
'S' DENOTES SHRUB  
'T' DENOTES TREE

## SYMBOL LEGEND

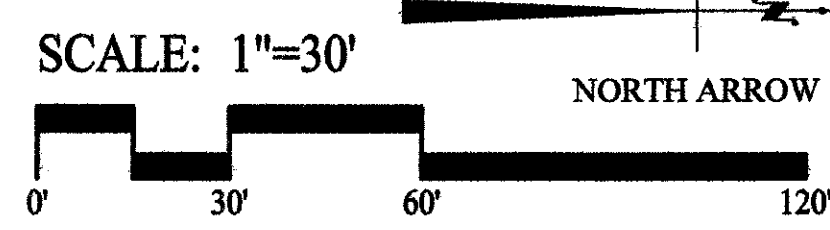
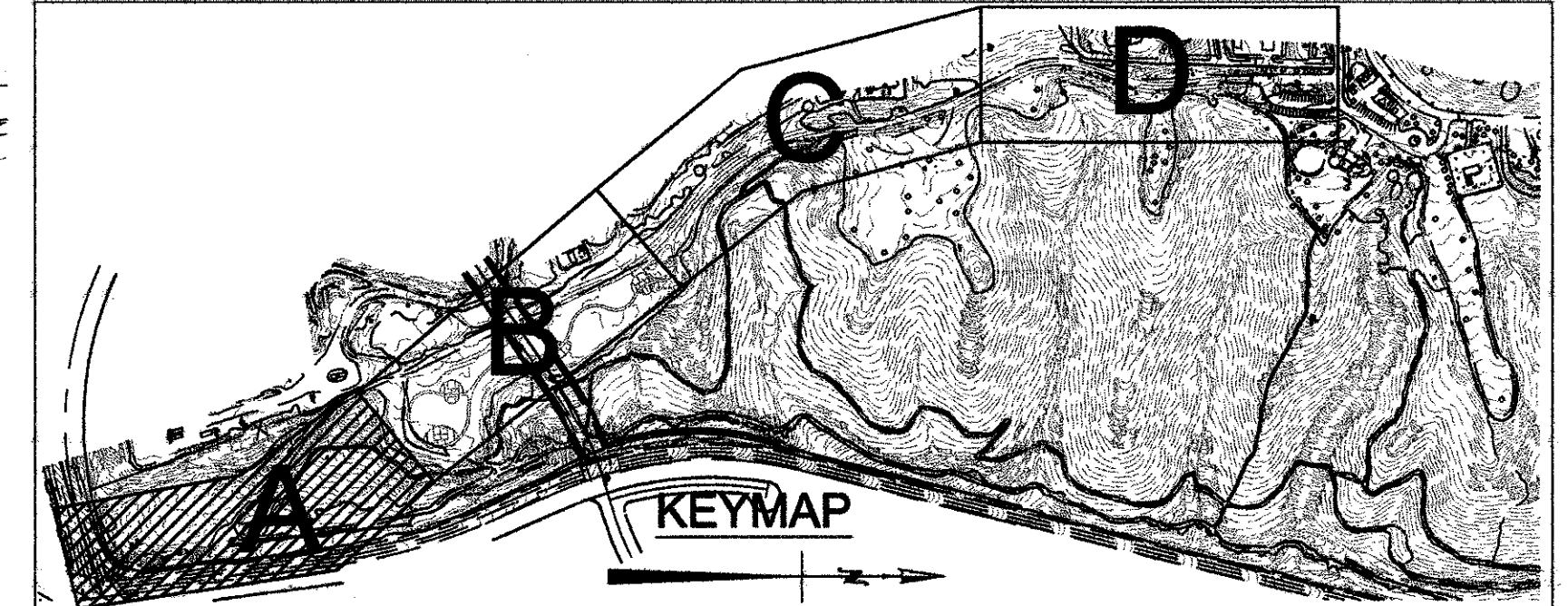
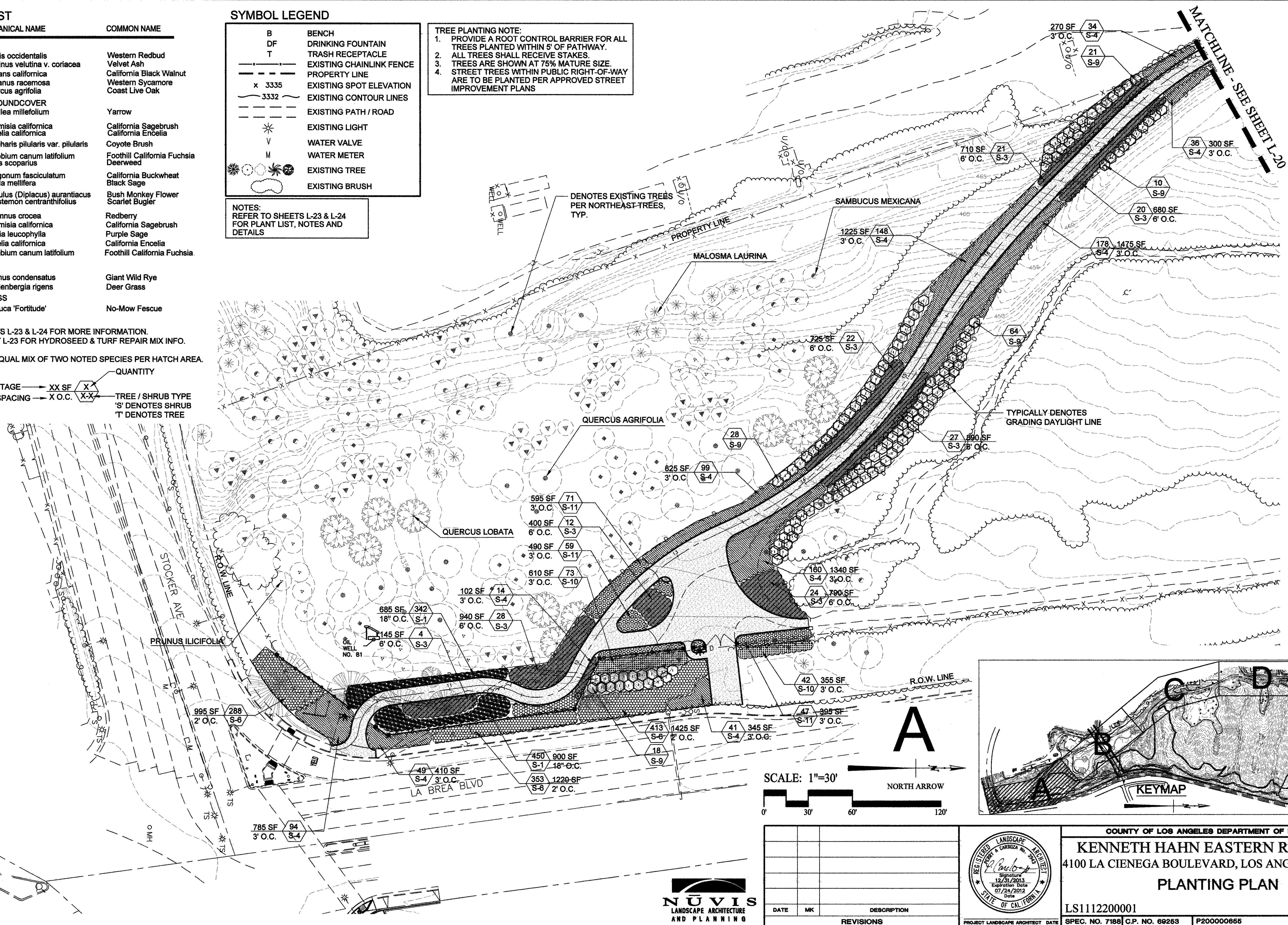
B	BENCH
DF	DRINKING FOUNTAIN
T	TRASH RECEPTACLE
---	EXISTING CHAINLINK FENCE
---	PROPERTY LINE
x 3335	EXISTING SPOT ELEVATION
3332	EXISTING CONTOUR LINES
---	EXISTING PATH / ROAD
*	EXISTING LIGHT
V	WATER VALVE
M	WATER METER
(Tree Symbol)	EXISTING TREE
(Brush Symbol)	EXISTING BRUSH

NOTES:  
REFER TO SHEETS L-23 & L-24  
FOR PLANT LIST, NOTES AND  
DETAILS

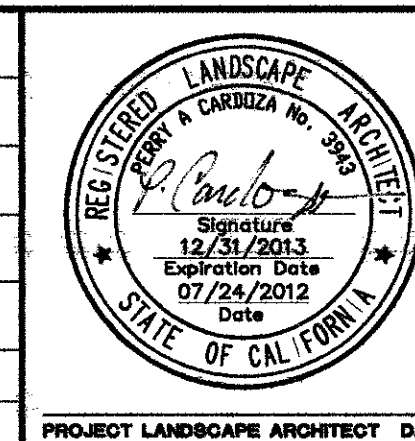
**TREE PLANTING NOTE:**  
1. PROVIDE A ROOT CONTROL BARRIER FOR ALL TREES PLANTED WITHIN 5' OF PATHWAY.  
2. ALL TREES SHALL RECEIVE STAKES.  
3. TREES ARE SHOWN AT 75% MATURE SIZE.  
4. STREET TREES WITHIN PUBLIC RIGHT-OF-WAY ARE TO BE PLANTED PER APPROVED STREET IMPROVEMENT PLANS

DENOTES EXISTING TREES  
PER NORTHEAST TREES,  
TYP.

MATCHLINE - SEE SHEET L-20



DATE	MK	DESCRIPTION



COUNTY OF LOS ANGELES DEPARTMENT OF PUBLIC WORKS

**KENNETH HAHN EASTERN RIDGELINE**  
4100 LA CIENEGA BOULEVARD, LOS ANGELES, CA 90056

**PLANTING PLAN**

LS1112200001

SPEC. NO. 7188 C.P. NO. 69263 P200000655

SHEET 37 OF 46

DATE  
REVIEWED BY  
CADD PROJECT FILE NAME  
CHECKER  
DESIGNER  
DRAFTER

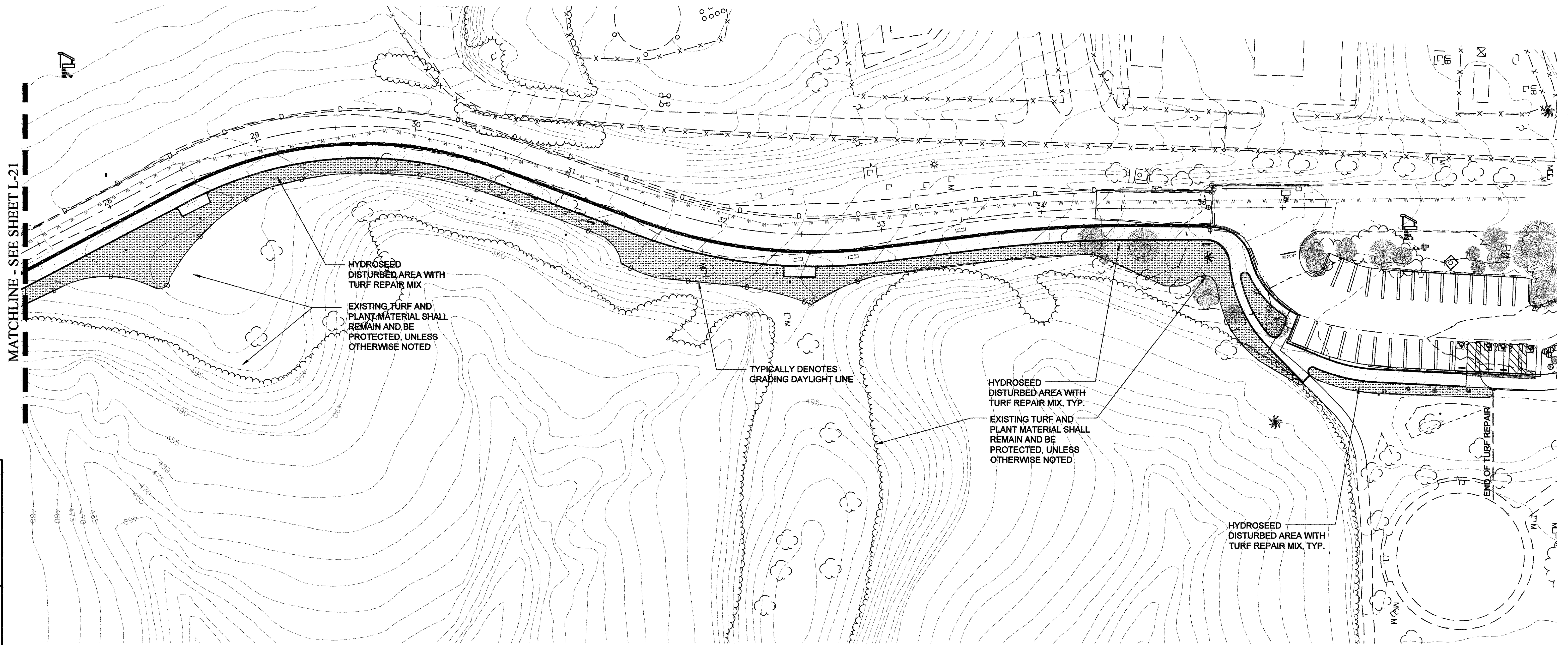












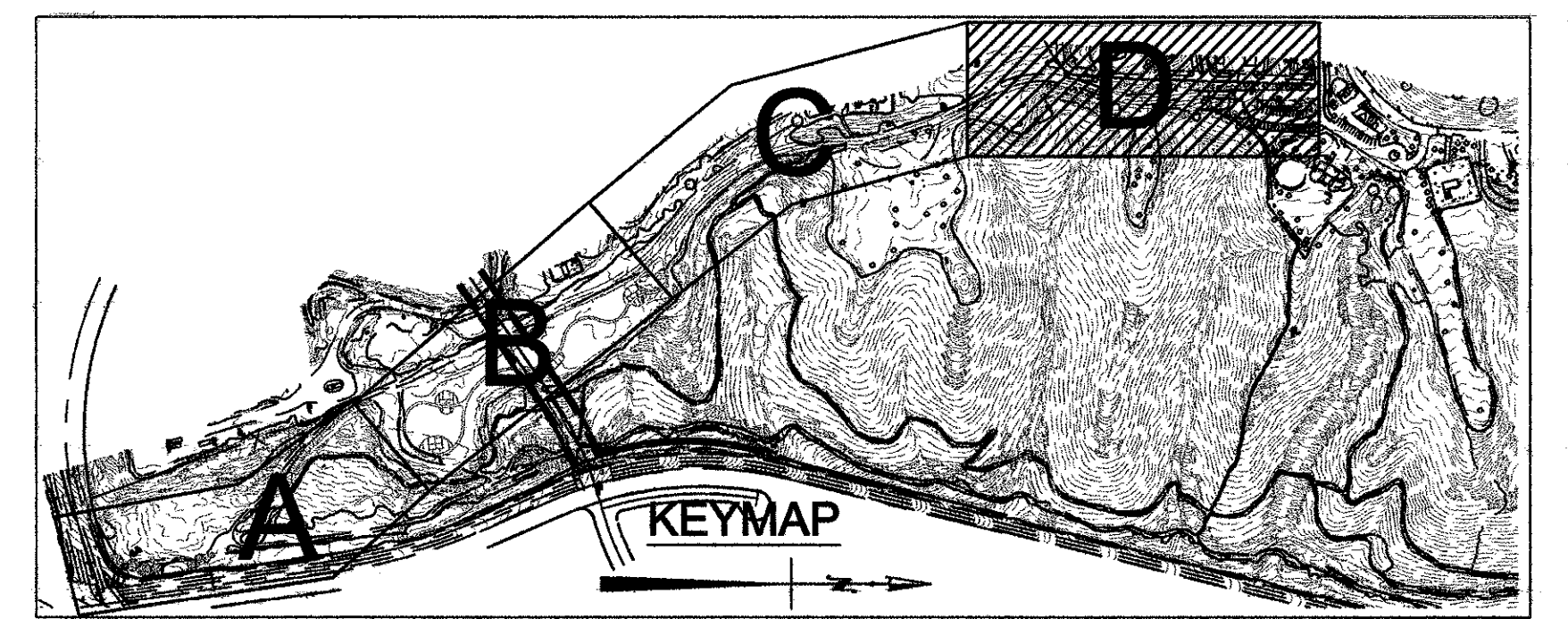
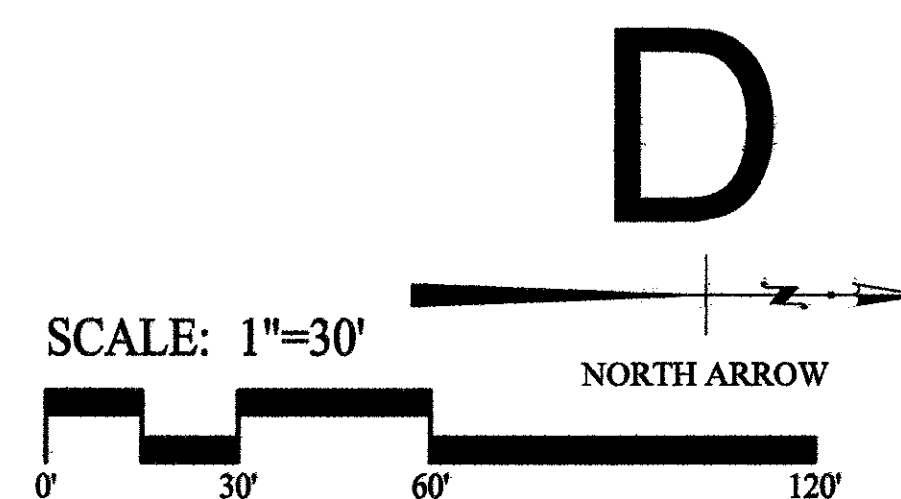
# SYMBOL LEGEND

B	BENCH
DF	DRINKING FOUNTAIN
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---	EXISTING CHAINLINK FENCE
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(Tree Symbol)	EXISTING TREE
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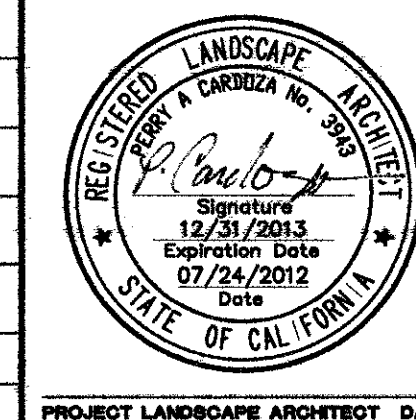
NOTES:  
REFER TO SHEETS L-23 & L-24  
FOR PLANT LIST, NOTES AND  
DETAILS

- TREE PLANTING NOTE:
1. PROVIDE A ROOT CONTROL BARRIER FOR ALL TREES PLANTED WITHIN 5' OF PATHWAY.
  2. ALL TREES SHALL RECEIVE STAKES.
  3. TREES ARE SHOWN AT 75% MATURE SIZE.
  4. STREET TREES WITHIN PUBLIC RIGHT-OF-WAY ARE TO BE PLANTED PER APPROVED STREET IMPROVEMENT PLANS

SQUARE FOOTAGE	XX SF	X	QUANTITY
ON CENTER SPACING	X O.C.	X-X	TREE / SHRUB TYPE
		S	'S' DENOTES SHRUB
		T	'T' DENOTES TREE



DATE	MK	DESCRIPTION
		REVISIONS



COUNTY OF LOS ANGELES DEPARTMENT OF PUBLIC WORKS			
KENNETH HAHN EASTERN RIDGELINE			
4100 LA CIENEGA BOULEVARD, LOS ANGELES, CA 90056			
PLANTING PLAN			
LS1112200001			L-22
SPEC. NO. 7188	C.P. NO. 69253	P200000655	SHEET 40 OF 46

(23 of 27)



PLANT LIST							
	SYB.	BOTANICAL NAME	COMMON NAME	CONTAINER SIZE	O.C. SPACING	MATURE HEIGHT / WIDTH	MIN. SETBACK
TREES							
T-1		Cercis occidentalis	Western Redbud	15 GAL., 24" BOX	PER PLAN	15' / 15'	6'
T-2		Fraxinus velutina var. coriacea	Velvet Ash	15 GAL.	PER PLAN	20'-30' / 20'-30'	6'
T-3		Juglans californica	California Black Walnut	15 GAL.	PER PLAN	15'-25' / 20'	6'
T-4		Platanus racemosa	Western Sycamore	24", 36", 48" & 60" BOX	PER PLAN	40' / 40'	6'
T-5		Quercus agrifolia	Coast Live Oak	24", 36", 48" & 60" BOX	PER PLAN	40' / 40'	8'
SHRUBS & GROUND COVER							
S-1		Achillea millefolium	Yarrow	1 GAL.	18" O.C.	1'-3' / 1'-3'	1'
S-2		Artemisia californica	California Sagebrush	1 GAL.	3' O.C.	3' / 2'-3' / 3'-4' / 3'-6'	3'
S-3		Baccharis pilularis var. pilularis	Coyote Brush	1 GAL.	6' O.C.	12" / 8'	4'
S-4		Epilobium canum latifolium	Foothill California Fuchsia	1 GAL.	3' O.C.	3' / 3'	2'
S-5		Eriogonum fasciculatum	California Buckwheat	1 GAL.	4' O.C.	2'-3' / 3'-6' / 4' / 6'	4'
S-6		Mimulus (Diplacus) aurantiacus	Bush Monkey Flower	1 GAL.	2' O.C.	2' / 2' / 1'-2'	2'
S-7		Rhamnus crocea	Redberry	5 GAL.	30" O.C.	3'-4' / 3'-4'	4'
S-8		Artemisia californica	California Sagebrush	1 GAL.	3' O.C.	3' / 2'-3'	3'
S-9		Salvia leucophylla	Purple Sage	1 GAL.	4' O.C.	3'-5' / 3'-5'	5'
S-10		Encelia californica	California Encelia	1 GAL.	3' O.C.	3'-4' / 3'-6'	3'
S-11		Epilobium canum latifolium	Foothill California Fuchsia	1 GAL.	3' O.C.	3' / 3'	2'
GRASSES							
G-1		Leymus (Elymus) condensatus	Giant Wild Rye	1 GAL.	42" O.C.	3'-4' / 3'-4'	2'
G-2		Muhlenbergia rigens	Deer Grass	1 GAL.	30" O.C.	2'-3' / 2'-3'	3'

NO-MOW GRASS							
TA-1		Festuca 'Fortitude'	No-Mow Fescue	HYDROSEED	HYDROSEED AVAILABLE FROM PACIFIC SOD 800-942-5296 OR AN APPROVED EQUAL.	6 LBS PER / 1000 S.F.	SLURRY MIX #1 (SEE NOTES HEREON)

TURF REPAIR MIX							
TURF REPAIR MIX SHALL BE SULTAN BERMUDA GRASS AVAILABLE FROM STOVER SEED COMPANY, 800-621-0315, OR AN APPROVED EQUAL. SEED AT 10 LBS. PER 1000 S.F.							
SLURRY MIX #1 (SEE NOTES HEREON)							

HYDROSEED AREA #1		MIN. PURITY/GERM.	LBS. PER ACRE	SLURRY MIX #2 (SEE NOTES HEREON)
Botanic Name	Common Name	Min. P/G	Lbs. Per Acre	
Artemisia californica	Coastal Sagebrush	15/50	1.00	
Baccharis pilularis	Coyote Brush	2/40	0.50	
Bromus carinatus	California Brome	95/80	3.00	
Calystegia macrostegia	Wild Morning Glory	60/60	0.25	
Camissonia cherianthifolia	Dune Primrose	90/70	1.50	
Castilleja purpurascens	Owl's Clover	50/50	1.00	
Ceanothus crassifolius	Hoaryleaf Ceanothus	TBD	-	
Dendromecon rigida	Bush Poppy	TBD	-	
Encelia californica	Bush Sunflower	TBD	2.00	
Eriogonum fasciculatum	California Buckwheat	10/65	3.00	
Eriophyllum confertiflorum	Golden-Yarrow	30/60	2.50	
Gnaphalium californicum	California Everlasting	15/30	1.50	
Isomeris arborea	Bladderpod	95/85	1.50	
Lasthenia californica	Goldfields	50/60	1.75	
Lessingia filaginifolia	California Aster	TBD	1.25	
Lotus scoparius	Deerweed	90/60	4.50	
Lupinus bicolor	Miniature Lupine	98/80	3.50	
Malacothamnus fasciculatus	Bush Mallow	TBD	1.00	
Malosma laurina	Laurel Sumac	95/70	0.25	
Melica imperfecta	Melic Grass	90/60	2.00	
Mimulus aurantiacus	Monkey Flower	5/70	3.00	
Nassella cernua	Nodding Needlegrass	70/60	1.50	
Nassella lepida	Foothill Needlegrass	70/60	1.00	
Nassella pulcra	Purple Needlegrass	70/60	1.50	
Phacelia cicutaria	Caterpillar Phacelia	80/70	1.50	
Rhus integrifolia	Lemonadeberry	95/70	0.25	
Sambucus mexicanus	Blue Elderberry	TBD	-	
Sisyrinchium bellum	Blue-Eyed Grass	90/70	2.50	
Vulpia microstachys	Samll-Flowered Fescue	70/50	3.0	

HYDROSEED AREA #2				SAME AS SLURRY MIX #2 (SEE NOTES HEREON)	
Achillea millefolium	Common Yarrow	TBD	-		
Encelia californica	Coast Sunflower	TBD	-		
HYDROSEED AREA #3				SAME AS SLURRY MIX #2 (SEE NOTES HEREON)	
Epilobium canum 'Catalina'	Catalina Fuchsia	TBD	-		

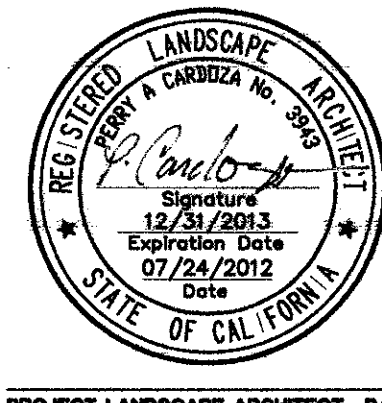
HYDROSEED AREA #4		MIN. PURITY/GERM.	LBS. PER ACRE	SAME AS SLURRY MIX #1 (SEE NOTES HEREON)
Botanic Name	Common Name	Min. P/G	Lbs. Per Acre	
Bromus carinatus "Cucamonga"	Cucamonga Brome	TBD	32	
Trifolium tridentatum	Tomcat Clover	TBD	32	
Vulpia microstachys	Small Fescue	TBD	32	

NOTES:  
1. SEE SHEETS L-24 FOR PLANTING NOTES & DETAILS.

SQUARE FOOTAGE → XX SF  
ON CENTER SPACING → X O.C.

QUANTITY  
TREE / SHRUB TYPE  
'S' DENOTES SHRUB  
'T' DENOTES TREE

- NOTES:
- HYDROSEEDING SLURRY #1:
    - 2000 LBS / ACRE ECO FIBRE MULCH
    - 150 LBS / ACRE ENVIRON-MEND BINDER (ADD SLOWLY TO TANK TO AVOID CLUMPING)
    - 400 LBS / ACRE PRE-PLANT FERTILIZER: STARTER FERTILIZER (15-15-15)
    - INCORPORATE ADDITIONAL ELEMENTS AS NEEDED BY SOILS TEST
  - HYDROSEEDING SLURRY #2:
    - 2000 LBS / ACRE ECO FIBRE MULCH
    - 150 LBS / ACRE ENVIRON-MEND BINDER (ADD SLOWLY TO TANK TO AVOID CLUMPING)
    - 20 LBS / ACRE MYCOAPPLY ENDO MYCORRHIZAL INOCULUM (4 SPECIES OF ENDO-MYCORRHIZAE)
    - 800 LBS / ACRE ORGANIC FERTILIZER: BIOSOL FORTE 7-2-1
  - SEEDS AVAILABLE FROM STOVER SEED COMPANY, 213-626-9668, OR AN APPROVED EQUAL.
  - HYDROSEED TO BE APPLIED AFTER INSTALLATION OF CONTAINER PLANTS. REFER TO PLANTING PLANS, SHEETS L-20 THRU L-22 FOR HYDROSEED LOCATIONS.
  - SEE SHEET L-24 FOR ADDITIONAL PLANTING NOTES.
  - PLANT MATERIAL NOTED HEREON ARE PER THE STATE OF CALIFORNIA APPROVED PLANT PALETTE FOR KENNETH HAHN EASTERN RIDGELINE.
  - DESIGN INTENT OF RANDOM SHRUB GROUPINGS TO CREATE NATURAL LOOKING DRIFTS



COUNTY OF LOS ANGELES DEPARTMENT OF PUBLIC WORKS

KENNETH HAHN EASTERN RIDGELINE

4100 LA CIENEGA BOULEVARD, LOS ANGELES, CA 90056

PLANT LIST

LS1112200001

L-23

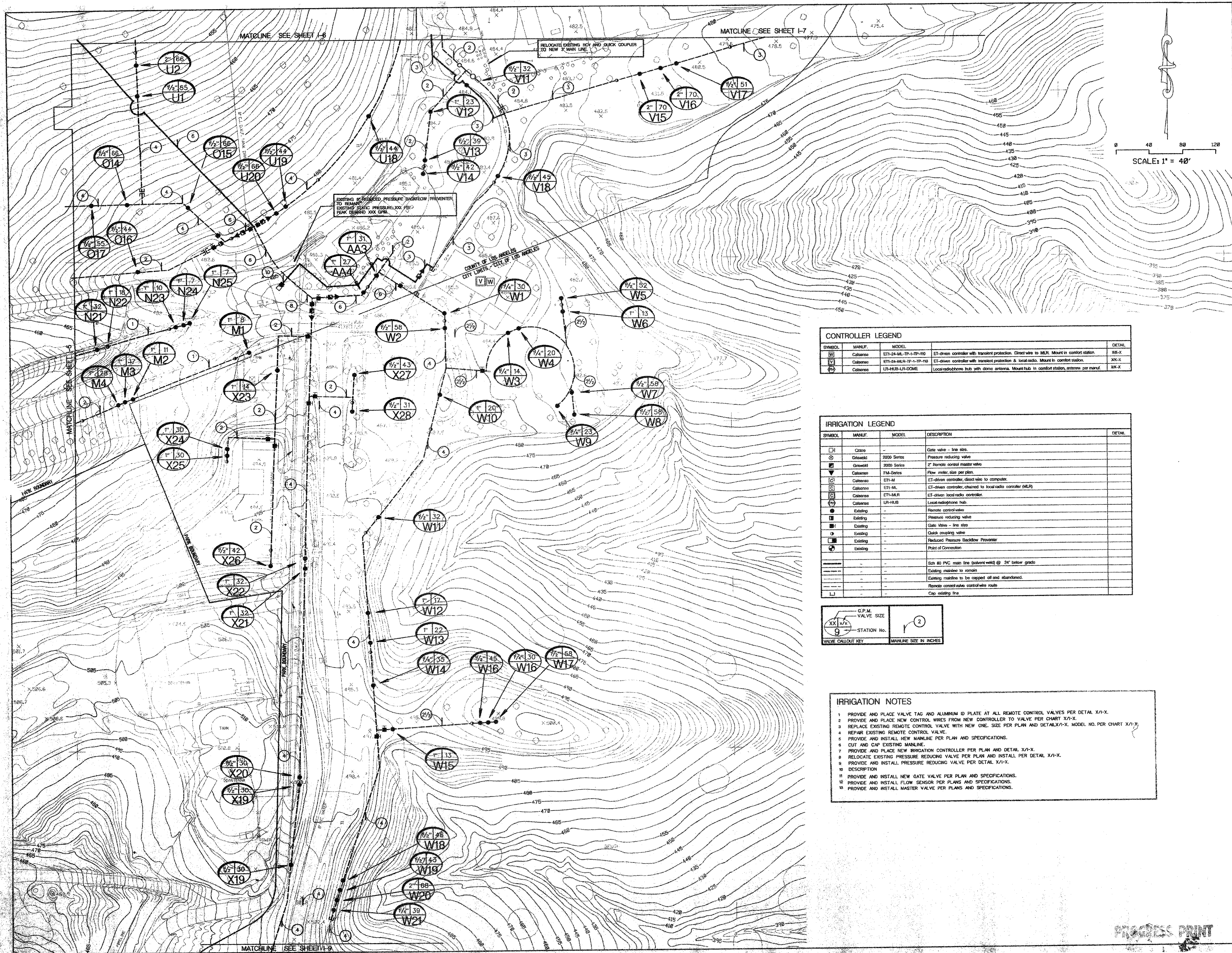
SHEET 41 OF 46




(24 of 27)






















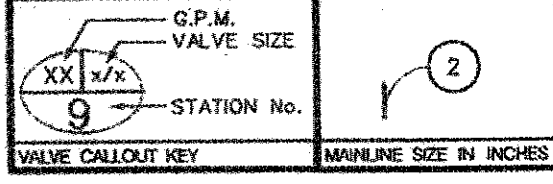






CONTROLLER LEGEND				
SYMBOL	MANUF.	MODEL		DETAIL
	Cabense	ETI-24-MR-TP-1-TP-110	ET-driven controller with transient protection. Direct wire to MLR. Mount in comfort station.	XX-X
	Cabense	ETI-24-MR-TP-1-TP-110	ET-driven controller with transient protection & local radio. Mount in comfort station.	XX-X
	Cabense	LI-MR-UB-DOME	Local radiophone hub with dome antenna. Mount hub in comfort station, antenna per manual.	XX-X

IRRIGATION LEGEND				
SYMBOL	MANUF.	MODEL	DESCRIPTION	DETAIL
	Qtrco	--	Gate valve - line size.	
	Gleweck	2000 Series	Pressure reducing valve	
	Gleweck	2000 Series	2" Remote control master valve	
	Cabense	FMA-Series	Flow meter, size per plan.	
	Cabense	ETI-M	ET-driven controller, direct wire to computer.	
	Cabense	ETI-MR	ET-driven controller, chained to local radio controller (MLR)	
	Cabense	ETI-MR-L	ET-driven local radio controller.	
	Cabense	LI-MR-UB	Local radio/hub	
	Existing	--	Remote control valve	
	Existing	--	Pressure reducing valve	
	Existing	--	Gate Valve - line size	
	Existing	--	Quick coupling valve	
	Existing	--	Reduced Pressure Backflow Preventer	
	Existing	--	Point of Connection	
	--	--	Sch 80 PVC main line (solvent weld) @ 24" below grade	
	--	--	Existing mainline to remain	
	--	--	Existing mainline to be capped off and abandoned.	
	--	--	Remote control valve control wire route	
	--	--	Cap existing line	



- IRRIGATION NOTES**
1. PROVIDE AND PLACE VALVE TAG AND ALUMINUM ID PLATE AT ALL REMOTE CONTROL VALVES PER DETAIL X/I-X.
  2. PROVIDE AND PLACE NEW CONTROL WIRES FROM NEW CONTROLLER TO VALVE PER CHART X/I-X.
  3. REPLACE EXISTING REMOTE CONTROL VALVE WITH NEW ONE. SIZE PER PLAN AND DETAIL X/I-X. MODEL NO. PER CHART X/I-X.
  4. REPAIR EXISTING REMOTE CONTROL VALVE.
  5. PROVIDE AND INSTALL NEW MAINLINE PER PLAN AND SPECIFICATIONS.
  6. CUT AND CAP EXISTING MAINLINE.
  7. PROVIDE AND PLACE NEW IRRIGATION CONTROLLER PER PLAN AND DETAIL X/I-X.
  8. RELOCATE EXISTING PRESSURE REDUCING VALVE PER PLAN AND INSTALL PER DETAIL X/I-X.
  9. PROVIDE AND INSTALL PRESSURE REDUCING VALVE PER DETAIL X/I-X.
  10. DESCRIPTION:
  11. PROVIDE AND INSTALL NEW GATE VALVE PER PLAN AND SPECIFICATIONS.
  12. PROVIDE AND INSTALL FLOW SENSOR PER PLANS AND SPECIFICATIONS.
  13. PROVIDE AND INSTALL MASTER VALVE PER PLANS AND SPECIFICATIONS.

Revisions:

EPT

LANDSCAPE ARCHITECTURE

1844 S. GREEN ST. #104  
PASADENA, CA 91366  
(818) 796-5000  
EPT@EPTARCH.COM

1736

Date: \_\_\_\_\_

Expiry: 7/31/99

APPROVALS

DATE

Director, Dept. of Parks & Recreation

DATE

Project Management Division

DATE

Project Architect / Engineer

Sheet Title

IRRIGATION PLAN

Prepared For:

COUNTY OF LOS ANGELES  
DEPARTMENT OF PARKS  
AND RECREATION  
433 SOUTH VERNON AVENUE  
LOS ANGELES, CALIFORNIA 90020

Date:

3/12/98

Scale:

1" = 40'

Drawn:

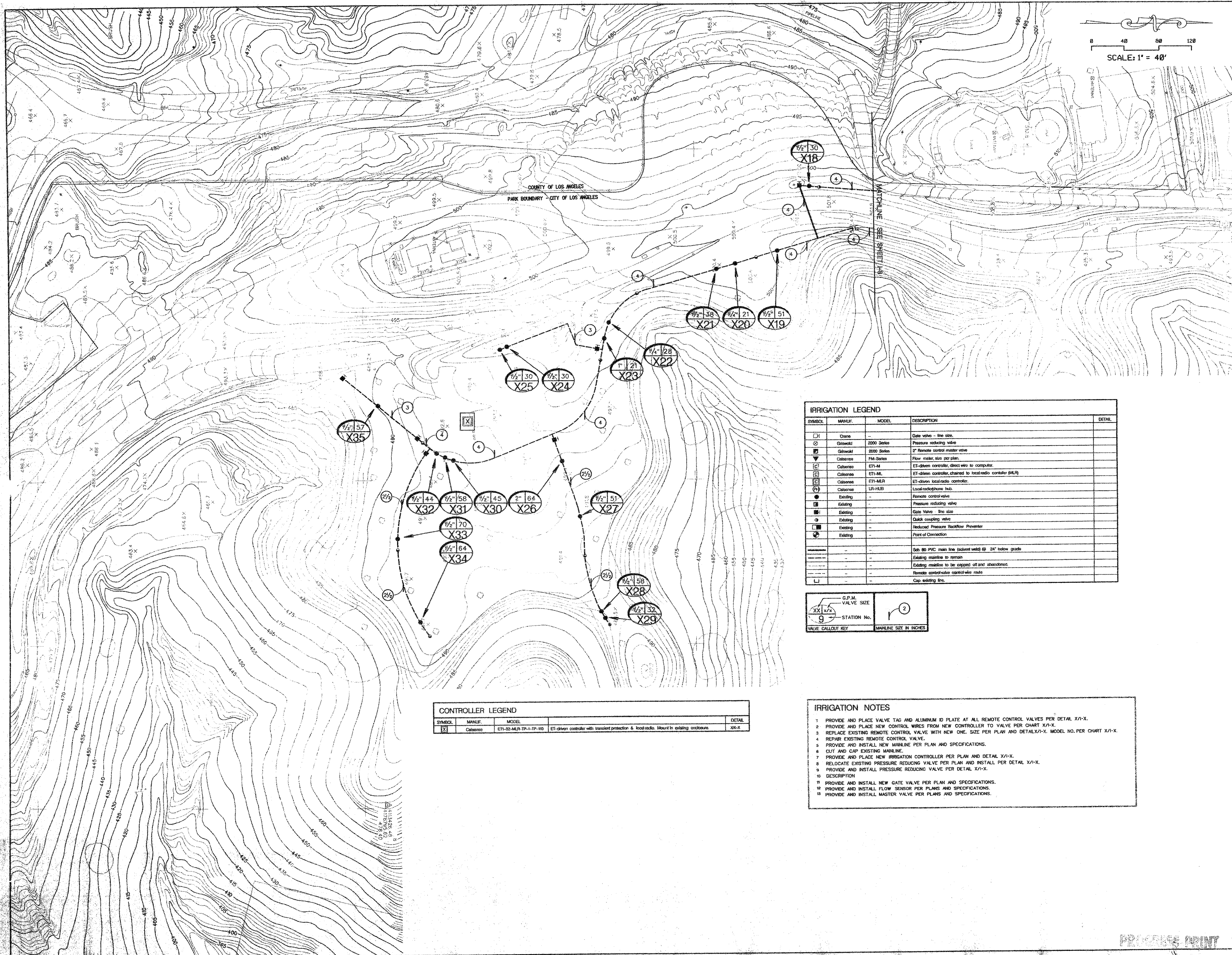
Spec. No.

98-3020

Sheet

1-8  
of XX Sheets





Revisions

EPT

LANDSCAPE ARCHITECTURE

1024 E. COCKER ST., 1004  
PASADENA, CA 91106  
626/790-3208  
626/785-2547 Fax

LANDSCAPE ARCHITECT

1736

Date

Expires 7/31/99

APPROVALS

Director, Dept. of Parks & Recreation

Project Management Division

Project Architect / Engineer

DATE

DATE

DATE

Sheet Title

IRIGATION PLAN

KENNETH HAHN RECREATION AREA  
LANDSCAPE, IRRIGATION AND  
LAKE MECHANICAL IMPROVEMENTS

Prepared For:

COUNTY OF LOS ANGELES  
DEPARTMENT OF PARKS  
AND RECREATION  
433 SOUTH VERMONT AVENUE  
LOS ANGELES, CALIFORNIA 90020

Date:

3/12/98

Scale:

1"=40'-0"

Drawn:

SAH

Spec. No.

98-3020

Sheet

19

X of XX Sheets

IRRIGATION LEGEND				
SYMBOL	MANUF.	MODEL	DESCRIPTION	DETAIL
	Crane	--	Gate valve - line size.	
	Gilswick	2000 Series	Pressure reducing valve	
	Gilswick	2000 Series	2" Remote control master valve	
	Calsense	FM-Series	Flow meter, size per plan.	
	Calsense	ETI-M	ET-driven controller, direct wire to computer.	
	Calsense	ETI-MR	ET-driven controller, chamed to local radio controller (MLR)	
	Calsense	ETI-MLR	ET-driven local radio controller.	
	Calsense	LRT-HUB	Local radio phone hub.	
	Existing	--	Remote control valve	
	Existing	--	Pressure reducing valve	
	Existing	--	Gate Valve - line size	
	Existing	--	Quick coupling valve	
	Existing	--	Reduced Pressure Backflow Preventer	
	Existing	--	Point of Connection	
	--	--	Set 80 PPM main line (isolated weld) @ 24" below grade	
	--	--	Existing mainline to remain	
	--	--	Existing relative to be capped off and abandoned.	
	--	--	Remote control valve control wire route	
	--	--	Cap existing line.	

G.P.M. VALVE SIZE

XX 1/2 9

STATION No.

VALVE CALLOUT KEY

MAINLINE SIZE IN INCHES

CONTROLLER LEGEND			
SYMBOL	MANUF.	MODEL	DETAIL
	Calsense	ETI-S2-MLR-TP-1-TP-10	ET-driven controller with transient protection & local radio. Mount in existing enclosure.
			XX-X

- IRRIGATION NOTES
1. PROVIDE AND PLACE VALVE TAG AND ALUMINUM ID PLATE AT ALL REMOTE CONTROL VALVES PER DETAIL X/1-X.
  2. PROVIDE AND PLACE NEW CONTROL WIRES FROM NEW CONTROLLER TO VALVE PER CHART X/1-X.
  3. REPLACE EXISTING REMOTE CONTROL VALVE WITH NEW ONE. SIZE PER PLAN AND DETAIL X/1-X. MODEL NO. PER CHART X/1-X.
  4. REPAIR EXISTING REMOTE CONTROL VALVE.
  5. PROVIDE AND INSTALL NEW MAINLINE PER PLAN AND SPECIFICATIONS.
  6. CUT AND CAP EXISTING MAINLINE.
  7. PROVIDE AND PLACE NEW IRRIGATION CONTROLLER PER PLAN AND DETAIL X/1-X.
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  9. PROVIDE AND INSTALL PRESSURE REDUCING VALVE PER DETAIL X/1-X.
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  11. PROVIDE AND INSTALL NEW GATE VALVE PER PLAN AND SPECIFICATIONS.
  12. PROVIDE AND INSTALL FLOW SENSOR PER PLANS AND SPECIFICATIONS.
  13. PROVIDE AND INSTALL MASTER VALVE PER PLANS AND SPECIFICATIONS.



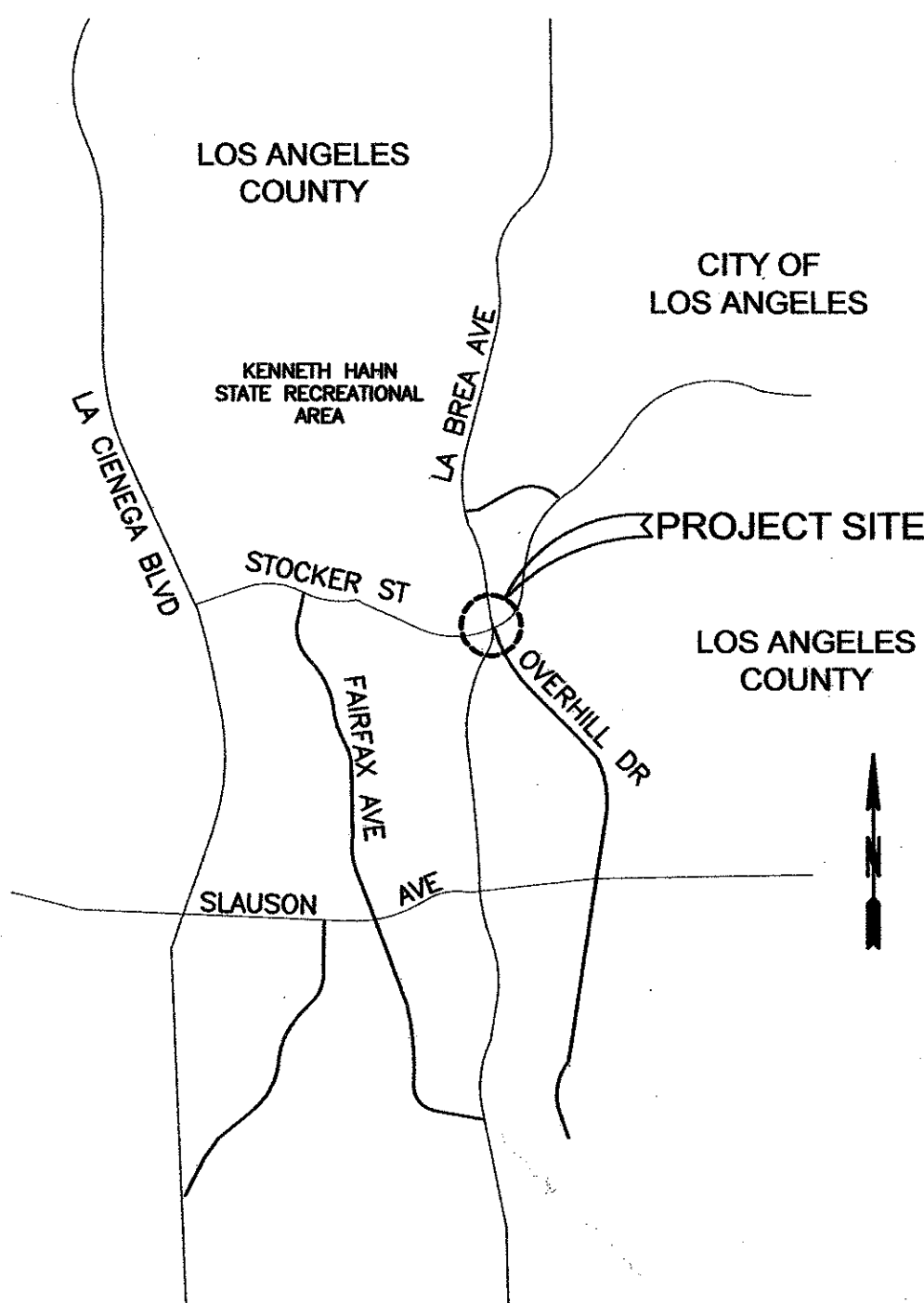
NOTICE TO CONTRACTORS

GENERAL NOTES

1. SPECIFICATIONS: ALL WORK SHALL CONFORM TO THE LATEST EDITION AND SUPPLEMENTS OF "THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION" (GREENBOOK), AND THE CORRESPONDING "ADDITIONS AND AMENDMENTS TO THE LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION" (BROWN BOOK).
2. PLAN REFERENCES: THIS IMPROVEMENT CONSISTS OF WORK CALLED FOR ONLY ON THIS PLAN.
3. STANDARD PLANS FOR THIS PROJECT:
- CITY OF LOS ANGELES STANDARD PLANS:
- TYPES OF CURB AND GUTTER..... S-410-2
- CURB RAMPS..... S-442-3
4. INSPECTION: ALL WORK AND MATERIALS ARE SUBJECT TO INSPECTION PURSUANT TO SECTION 2-11 OF THE STANDARD SPECIFICATIONS. CALL (213) 580-5080 (METRO) OR (818) 374-1188 (VALLEY) BEFORE NOON OF THE WORKING DAY BEFORE INSPECTION IS REQUIRED.
5. POT HOLE: THE CONTRACTOR IN CONFORMANCE WITH LOS ANGELES CITY ORDINANCE NUMBER 150,478, SHALL POT HOLE EXISTING SUBSURFACE INSTALLATION CARRYING UNSTABLE SUBSTANCES TO DETERMINE THEIR LOCATIONS AND ELEVATIONS BEFORE COMMENCING EXCAVATION.
6. UNDERGROUND SERVICE ALERT: BEFORE COMMENCING ANY EXCAVATION, THE CONTRACTOR SHALL OBTAIN AN UNDERGROUND SERVICE ALERT (USA) INQUIRY I.D. NUMBER BY CALLING 811. TWO WORKING DAYS SHALL BE ALLOWED AFTER THE I.D. NUMBER IS OBTAINED AND BEFORE THE CONTRACTOR STARTS THE EXCAVATION WORK SO THAT UTILITY OWNERS CAN BE NOTIFIED. IF THE UTILITY OWNER IS THE CITY OF LOS ANGELES, A CONFIRMATION NUMBER INDICATING THE CITY HAS BEEN NOTIFIED SHALL BE OBTAINED BY USA AND/OR THE CONTRACTOR FROM THE APPROPRIATE CITY DEPARTMENT. THE I.D. NUMBER TOGETHER WITH THE DATE ACQUIRED SHALL BE REPORTED TO THE BUREAU OF CONTRACT ADMINISTRATION WHEN CALLING FOR INSPECTION. I.D. NUMBERS WILL NOT BE GIVEN MORE THAN 10 DAYS BEFORE STARTING EXCAVATION WORK.
7. AT LEAST THIRTY (30) DAYS BEFORE THE START OF CONSTRUCTION THE CONTRACTOR/ENGINEER SHALL CONTACT BUREAU OF STREET SERVICES, COORDINATING SECTION AT (213) 847-3200 TO VERIFY THAT THERE IS NO PROPOSED PROJECT IN THE AREA.
8. NOTIFICATION: AT LEAST TEN (10) DAYS BEFORE THE START OF CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY, IN WRITING, ADJUTING PROPERTY OCCUPANTS OF THE PROPOSED CONSTRUCTION START DATE. A COPY OF SAID WRITTEN NOTIFICATION SHALL BE PROVIDED TO THE INSPECTOR FOR APPROVAL BEFORE THEY ARE DISTRIBUTED TO THE OCCUPANTS OF THE ADJUTING PROPERTY.
9. ADVANCE CONSTRUCTION NOTICE SIGNS: IN ADDITION TO SIGNS REQUIRED BY THE PROVISIONS OF THE CALIFORNIA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION (CA MUTCD), FURNISH AND PLACE SIGNS FOR GIVING ADVANCE NOTICE TO MOTORIST OF TRAFFIC DISRUPTION AS PART OF THIS PROJECT IN ACCORDANCE WITH STANDARD PLAN S-791-1.
10. TRAFFIC CONTROL SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE CA MUTCD ADOPTED BY THE STATE OF CALIFORNIA (CALTRANS).
11. CONSTRUCTION STAKES FOR CURB AND LONGITUDINAL GUTTER, WITH GRADE LESS THAN 0.50% SHALL BE SET 12.5 FEET ON CENTER.
12. REMOVALS:
- a. REMOVE ALL EXISTING IMPROVEMENTS THAT INTERFERE WITH THE CONSTRUCTION OF THIS PROJECT
- b. ALL UTILITIES SHALL BE REMOVED OR RELOCATED BY OTHERS.
13. REPAIR AND/OR REPLACE ANY EXISTING BROKEN OR OFF-GRADE PAVEMENT, CONCRETE CURB, GUTTER OR SIDEWALK IMMEDIATELY ADJACENT TO OR WITHIN THE AREA OF THIS IMPROVEMENT SATISFACTORY TO THE CITY ENGINEER.
14. SURVEY MONUMENT PRESERVATION IS REQUIRED AND SHALL INCLUDE SUBMITTAL OF PRE AND POST CONSTRUCTION SURVEY MONUMENT TIES TO THE ENGINEER, AS NOTED BY SECTION 2-9.3 OF THE "BROWN BOOK".
15. TRAFFIC LANE REQUIREMENTS:
- LATEST EDITION AND SUPPLEMENTS OF THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (GREENBOOK) AND THE CORRESPONDING ISSUE OF THE "BROWN BOOK" WILL BE SATISFACTORY FOR THE TRAFFIC REQUIREMENTS.
16. LOCATION OF EXISTING TRAFFIC SIGNAL CONDUIT SHOWN ON THE PLANS IS APPROXIMATE ONLY. CONTRACTOR SHALL DETERMINE IN ADVANCE OF THE WORK THE LOCATION OF TRAFFIC SIGNAL CONDUIT OR OTHER TRAFFIC SIGNAL EQUIPMENT WHICH MAY INTERFERE WITH THE WORK OR WHICH MAY BE DAMAGED BY HIS OPERATIONS.
17. NOTIFY THE METROPOLITAN TRANSIT AUTHORITY, (213) 922-4632, 48 HOURS PRIOR TO ANY WORK WHICH WILL AFFECT NORMAL BUS OPERATIONS.

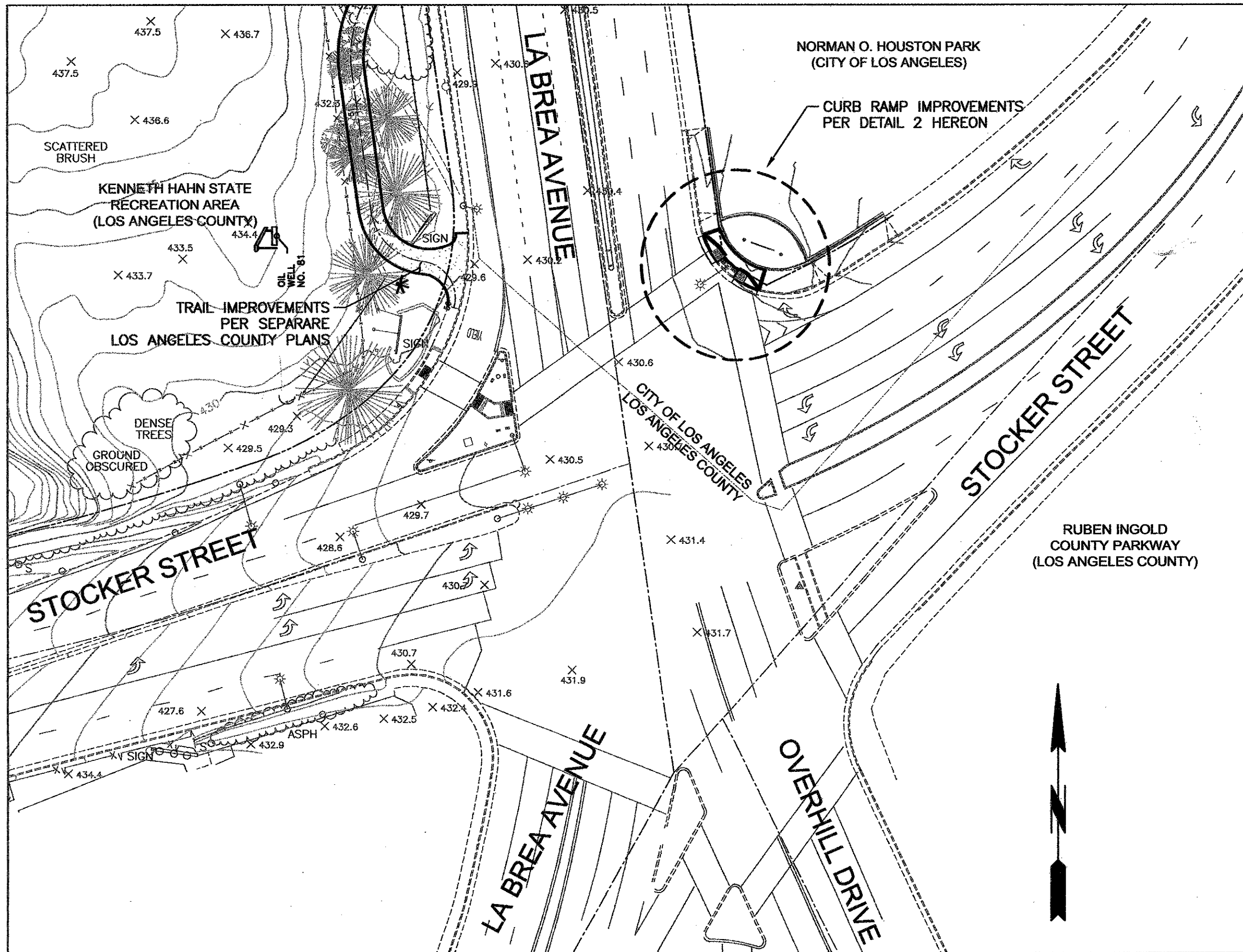
STREET IMPROVEMENTS

1. CURB RAMPS SHALL BE CONSTRUCTED PER STANDARD PLAN S-442-3, CASE E, UNLESS OTHERWISE SHOWN ON THE PLAN.



KEY MAP

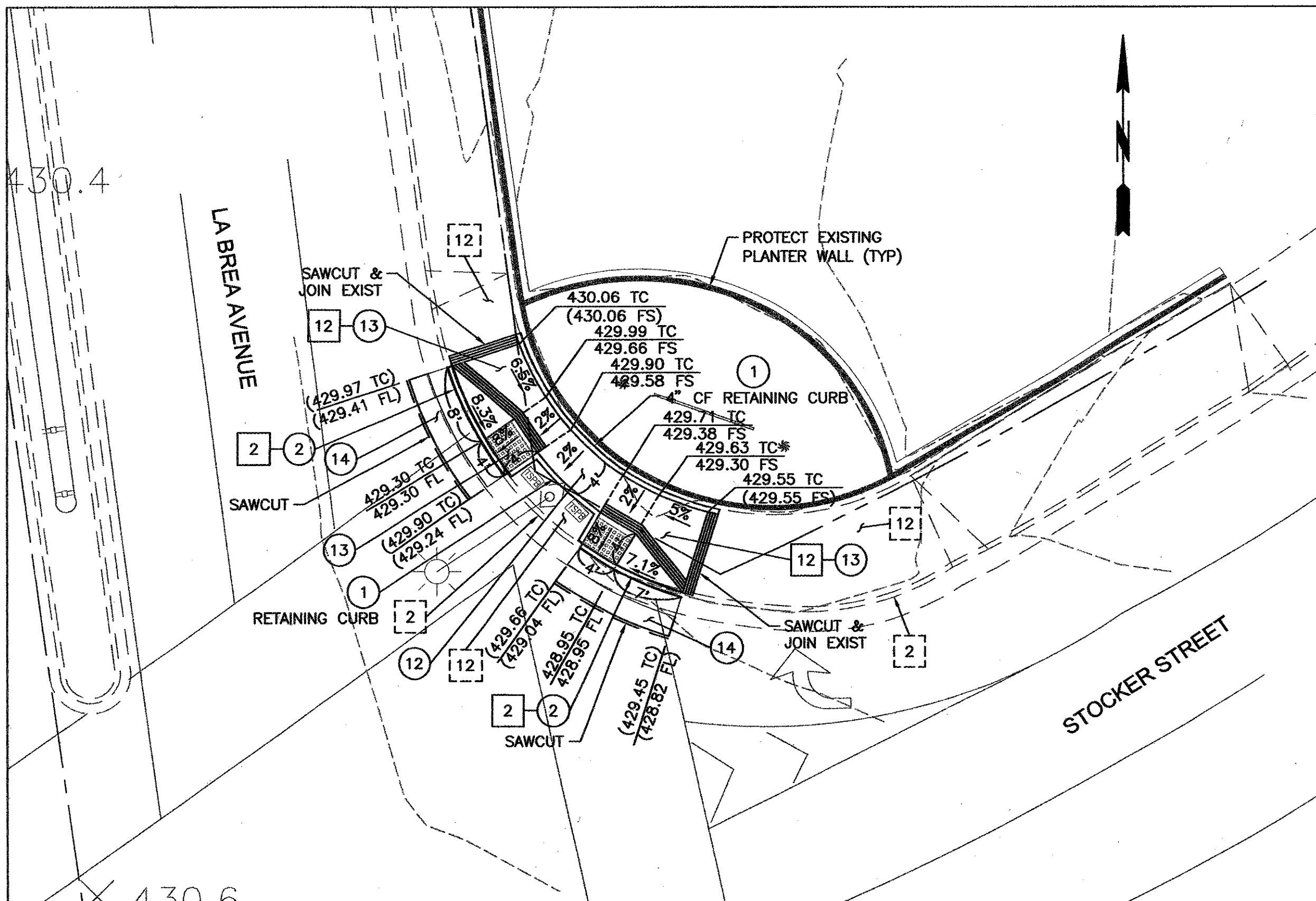
SCALE: 1"=200'



INTERSECTION IMPROVEMENTS 1

0 20 40 80

SCALE: 1"=40'



CURB RAMP IMPROVEMENT DETAILS 2

0 5 10 20

SCALE: 1"=10'

INDEX TO SHEETS

SHT. NO.	PLANS OF	LIMITS
1	NOTES & KEY MAP STREET IMPROVEMENTS	LA BREA AVENUE & STOCKER STREET INTERSECTION

CONSTRUCTION SYMBOLS

- CONSTRUCT
- EXISTING
- REMOVE
- REMODEL EXISTING
- REMOVE & CONSTRUCT
- WORK BY OTHERS

1. CONCRETE CURB
2. TYPE C INTEGRAL CURB AND GUTTER
12. CONCRETE WALK
13. CURB RAMP: MODIFIED CASE E
14. ASPHALT CONCRETE PAVEMENT: 6"

LA BREA AVENUE & STOCKER STREET INTERSECTION  
GENERAL IMPROVEMENTS

PLANS PREPARED UNDER THE DIRECTION OF:

CIVIL WORKS  
Engineers, Inc.  
3151 Alhambra Avenue, Suite T-1  
Costa Mesa, CA 92626  
(714) 966-9060



BUREAU OF ENGINEERING

DATE BY: \_\_\_\_\_

NO. REVISIONS: \_\_\_\_\_

BUREAU OF ENGINEERING APPROVAL: \_\_\_\_\_

OFFICE VALLEY DISTRICT CHECKED BY: \_\_\_\_\_

SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_

WORK ACCEPTED: \_\_\_\_\_

SERIAL NO. \_\_\_\_\_

B. PERMITS: \_\_\_\_\_

INDEX NO. P. \_\_\_\_\_

DESIGN GROUP: \_\_\_\_\_

ENGINEER: M. Mason

DESIGNED BY: D. Grantham

DRAWN BY: D. Grantham

CHECKED BY: M. Mason

APPROVED BY: M. Mason

PROJECT TITLE: NOTES & KEY MAP, STREET IMPROVEMENTS

PROJECT: KENNETH HAHN REGIONAL PARK TRAIL IMPROVEMENTS

ADDRESS: NORTHEAST CORNER OF LA BREA AVENUE & STOCKER STREET

VERTICAL CONTROL: B.M. 04872, NGVD 1929, 1895 ADJ. ELEV=437.089'

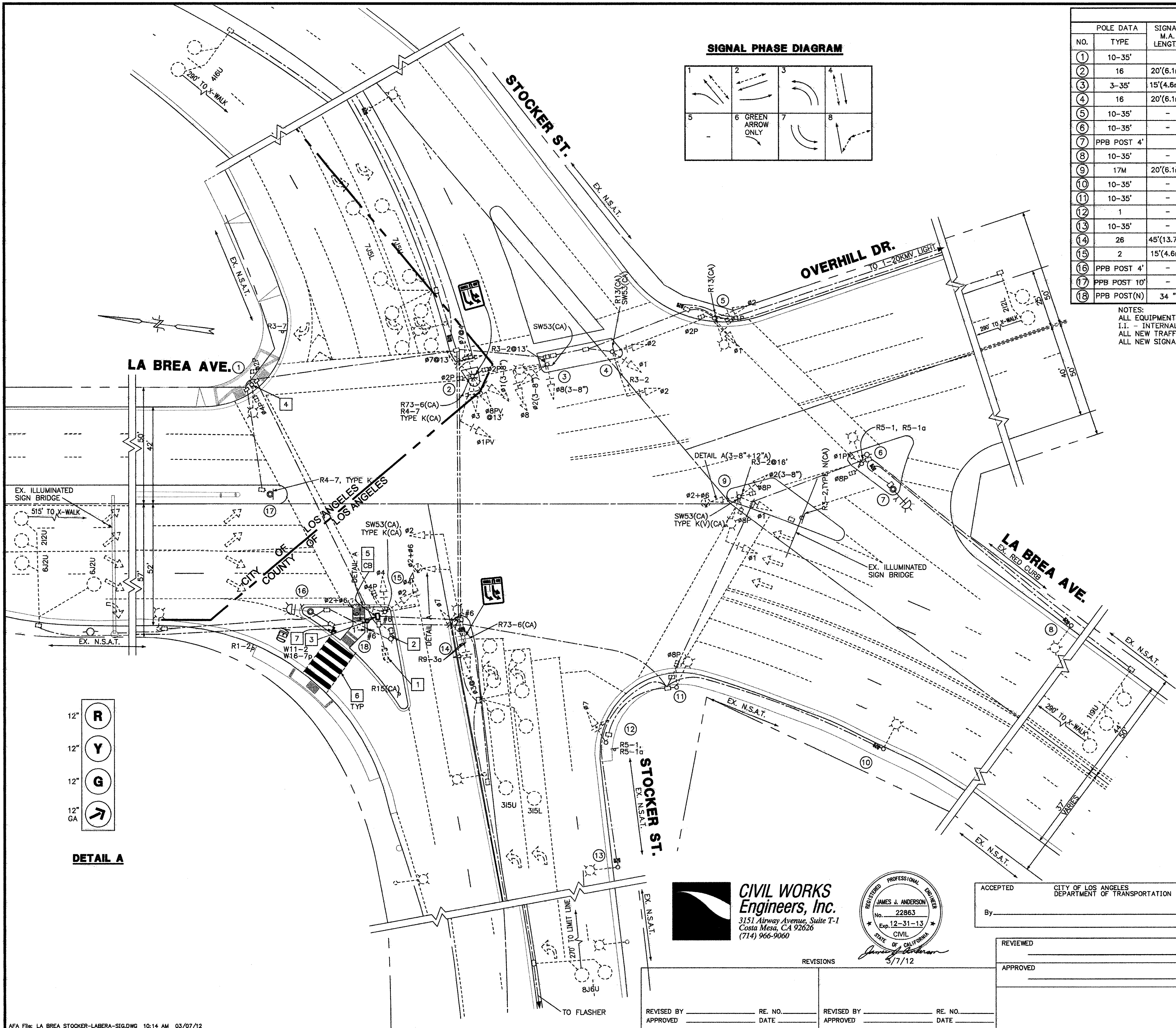
HORIZONTAL CONTROL: \_\_\_\_\_

PROJECT NO. \_\_\_\_\_

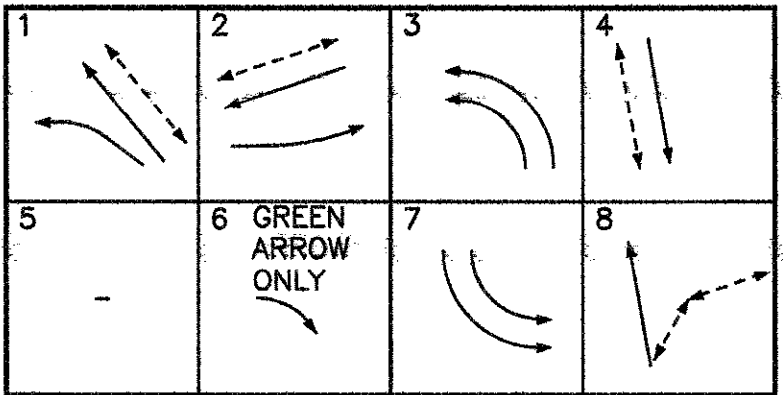
DRAWING NO. \_\_\_\_\_

SHEET 1 OF 1 SHEETS





SIGNAL PHASE DIAGRAM



POLE SCHEDULE

NO.	POLE DATA	SIGNAL M.A. LENGTH	SIGNAL M.A. POLE	SIGNAL M.A. PED	LUMINAIRE M.A. LENGTH	LUMINAIRE WATTS	PED. PUSH BUTTON NO.	PED. PHASE	STREET NAME SIGN TYPE	STREET NAME SIGN LEGEND	POLE LOCATION
1	10-35'	-	-	SP-2-T	12'(3.7m)	250	1(N)	2	-	-	AS SHOWN
2	16	20'(6.1m)	MAS	SV-2-TA	12'(3.7m)	250	1	2	-	-	AS SHOWN
3	3-35'	15'(4.6m)	MAS	SV-2-TA	12'(3.7m)	250	1	2	I.I.	Stocker Overhill	AS SHOWN
4	16	20'(6.1m)	MAS	SV-2-TA	12'(3.7m)	250	1	2	I.I.	La Brea Overhill	AS SHOWN
5	10-35'	-	-	SV-2-TA	12'(3.7m)	250	1	2	-	-	AS SHOWN
6	10-35'	-	-	SP-2-T	12'(3.7m)	250	1	8	-	-	AS SHOWN
7	PPB POST 4'	-	-	TV-1	-	-	-	-	-	-	AS SHOWN
8	10-35'	-	-	-	12'(3.7m)	175	-	-	-	-	AS SHOWN
9	17M	20'(6.1m)	MAS	SV-3-TA	12'(3.7m)	250	1	8	-	-	AS SHOWN
10	10-35'	-	-	-	12'(3.7m)	250	-	-	-	-	AS SHOWN
11	10-35'	-	-	SP-1-T	12'(3.7m)	250	1	8	-	-	AS SHOWN
12	1	-	-	TV-1-T	-	-	-	-	-	-	AS SHOWN
13	10-35'	-	-	-	12'(3.7m)	250	-	-	-	-	AS SHOWN
14	26	45'(13.7m)	2-MAS	2-SV-1-T	12'(3.7m)	250	-	-	-	-	AS SHOWN
15	2	15'(4.6m)	MAS	SV-2-T	12'(3.7m)	250	-	-	-	La Brea Overhill	AS SHOWN
16	PPB POST 4'	-	-	TV-1	-	-	-	-	-	-	AS SHOWN
17	PPB POST 10'	-	-	-	-	-	1	4	-	-	AS SHOWN
18	PPB POST(N)	34	-	-	-	-	1(N)	4	-	-	AS SHOWN

NOTES:  
ALL EQUIPMENT IS EXISTING EXCEPT AS NOTED (N) NEW.  
I.I. - INTERNALLY ILLUMINATED STREET NAME SIGN.  
ALL NEW TRAFFIC SIGNAL POLES AND MAST ARMS SHALL BE PER CALTRANS STANDARD PLANS, 2006 EDITION.  
ALL NEW SIGNAL MOUNTINGS SHALL BE PER STANDARD PLANS FOR PUBLIC WORKS CONSTRUCTION, 2006 EDITION.

NOTES THIS SHEET:

- EXISTING TYPE 332 CABINET MOUNTED ON A TYPE R FOUNDATION WITH TYPE 170 CONTROLLER, LACO-4E PROGRAM, AND 7-2-CHANNEL ILD SENSORS UNITS, AND 11-SWITCH PACKS. PROTECT IN PLACE.
- EXISTING TYPE "B" SERVICE. ENCLOSURE WITH THE FOLLOWING CIRCUIT BREAKERS: 240V 100 AMP (MAIN); 120V 50 AMP (SIGNALS); 120V 20 AMP (IISNS), 120V 30 AMP (LIGHTING) AND 120V 15 AMP (PEC). PROTECT IN PLACE.
- FURNISH AND INSTALL P.P.B. POST WITH 2" CONDUIT TO PULL BOX AS SHOWN. INSTALL NEW 3 CSC CABLE TO THE CONTROLLER CABINET. REMOVE EXISTING P.P.B. ON POLE 15 AND PLUG HOLE.
- FURNISH AND INSTALL 2 NEW ADA COMPLIANT P.P.B. FOR PHASE 2 AND 4 ON THE NORTH AND NORTHEAST SIDE OF THE POLE AS DIRECTED BY THE ENGINEER. REMOVE EXISTING P.P.B.'S AND PLUG EXISTING HOLES.
- REMOVE EXISTING PULL BOX AND INSTALL NEW NEW # 6 PULL BOX IN SAME LOCATION AS EXISTING.
- INSTALL 24" WHITE TRANSVERSE LINES SPACED AT 4' ON CENTER.
- NEW SIGNS TO BE INSTALLED BY THE COUNTY OF LOS ANGELES. CALL (626) 453-1708 FIVE (5) WORKING DAYS PRIOR FOR COORDINATION.

GENERAL NOTES

- TRAFFIC SIGNAL AND LIGHTING SHALL CONFORM TO THE LOS ANGELES COUNTY STANDARDS WHICH INCLUDE THE STANDARD PLANS FOR PUBLIC WORKS CONSTRUCTION, 2006 EDITION, STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (GREEN BOOK), 2009 EDITION, AND THE LOS ANGELES COUNTY DEPARTMENT OF PUBLIC WORKS TRAFFIC SIGNAL CONTROL EQUIPMENT SPECIFICATIONS, LATEST EDITION, UNLESS OTHERWISE NOTED ON THE PLAN OR IN THE SPECIAL PROVISIONS.
- ALL MATERIALS AND NEW EQUIPMENT SHALL BE FURNISHED AND INSTALLED BY THE CONTRACTOR.
- ALL NEW WIRING SHALL BE MARKED (TAGGED) WITHIN THE CONTROLLER CABINET FOR PHASE IDENTIFICATION.
- ALL NEW SIGNAL EQUIPMENT SHALL BE WIRED IN ACCORDANCE WITH THE PROPOSED SIGNAL PHASE DIAGRAM.
- ANY NEW SIGNAL CABLES SHALL BE THREE-CONDUCTOR CABLE (3CSC), FIVE-CONDUCTOR CABLE (5CSC), AND TWELVE-CONDUCTOR CABLE (12CSC). SEE SPECIAL PROVISIONS.

81% COUNTY OF LOS ANGELES  
19% CITY OF LOS ANGELES  
MAINTAINED BY THE COUNTY OF LOS ANGELES  
ENTIRE COST OF THIS PROJECT TO BE BORNE  
BY THE COUNTY OF LOS ANGELES

CONSTRUCTION DIVISION SHALL CONTACT TRAFFIC AND  
LIGHTING DIVISION PRIOR TO ISSUANCE OF PERMIT

LOS ANGELES COUNTY  
DEPARTMENT OF PUBLIC WORKS  
TRAFFIC AND LIGHTING DIVISION

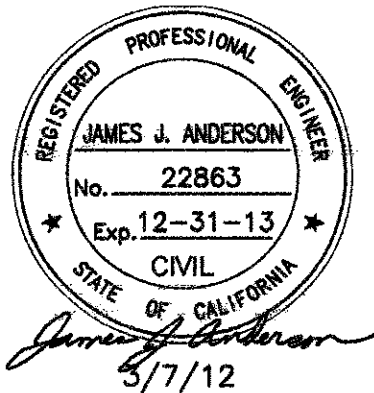
TRAFFIC SIGNAL PLAN  
OVERHILL DR/STOCKERT ST  
AT LA BREA AVE

XXXXXXXX SHT 1 of 1 SCALE: 1" = 20' T.S. 445-R12

ACCEPTED  
CITY OF LOS ANGELES  
DEPARTMENT OF TRANSPORTATION  
By \_\_\_\_\_ DATE \_\_\_\_\_

REVIEWED \_\_\_\_\_ DATE \_\_\_\_\_  
APPROVED \_\_\_\_\_ DATE \_\_\_\_\_

CIVIL WORKS  
Engineers, Inc.  
3151 Airway Avenue, Suite T-1  
Costa Mesa, CA 92626  
(714) 966-9060



REVISIONS

REVISED BY \_\_\_\_\_ RE. NO. \_\_\_\_\_  
APPROVED \_\_\_\_\_ DATE \_\_\_\_\_

THIS PLAN EXPIRES TWO YEARS AFTER APPROVAL DATE